



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: March 3, 2011 **REPORT NO. PC-11-022**

ATTENTION: Planning Commission, Agenda of March 10, 2011

SUBJECT: EUCLID FAMILY HEALTH CENTER - PROJECT NO. 219009
PROCESS FOUR

**OWNER/
APPLICANT:** San Ysidro Health Center Inc.

SUMMARY

Issue(s): Should the Planning Commission approve a request for the construction of a three-story, 25,100 square foot, outpatient medical and dental office building on a 1.03-acre site located at 950 and 1060 S. Euclid Avenue in the Lincoln Park neighborhood of the Southeastern San Diego Community Plan?

Staff Recommendation:

1. **CERTIFY** Negative Declaration No. 219009, and
2. **APPROVE** Site Development Permit No. 779825.

Community Planning Group Recommendation: On February 7, 2011, the Encanto Neighborhoods Community Planning Group vote 7-1-0 to recommend approval of the proposed project (Attachment 11).

Southeastern Economic Development Corporation Recommendation: The Southeastern Economic Development Corporation (SEDC) has reviewed the proposed development for the Euclid Family Health Center and is in support of the project (Attachment 6).

Environmental Review: A Negative Declaration (ND) No. 219009 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: There is no impact on Housing with the proposed project. The project site is located in a commercial zone (CT-2) of the Southeastern San Diego Planned District within the Lincoln Park neighborhood of the Southeastern San Diego Community Plan, and is designated for General Commercial use in the community plan. The project site was previously developed with two commercial buildings, which are currently vacant and will be demolished.

BACKGROUND

The project site is located at 950 and 1060 S. Euclid Avenue (Attachment 1), on the west side of S. Euclid Avenue, south of Logan Avenue (Attachment 2). The site is located in the CT-2 Zone of the Southeastern San Diego Planned District (Attachment 3) within the Lincoln Park neighborhood of the Southeastern San Diego Community Plan (Attachment 4). The commercial elements in the Southeastern San Diego Planned District (SESDPD) are contained in three distinct design zones which are further regulated by use categories. The CT-2 Zone designation is a commercial center area zone that generally contains its own internal vehicular circulation and parking, and functions as an independent entity. In addition, the use category for the site is Community-Commercial Category-2, which allows for medical and dental office use. The Southeastern San Diego Community Plan (SESDCP) designates the site for General Commercial.

The property located at 950 S. Euclid Avenue previously contained a one-story vacant commercial building. This structure was constructed in 1976 and used as a McDonald's restaurant. From 1989 through 1992 the existing building was used as a Dental Clinic and Therapeutic Body Care Health Center, and most recently used as a church. The property located at 1060 S. Euclid Avenue previously contained a one-story vacant commercial building. On March 26, 1965, a one-story single family residence was moved on to the site and converted into a medical office building (Building Permit No. A03413), and most recently used as a chiropractic office. On December 1, 2010, Demolition Permits No. 800642 and No. 800650 were issued to demolish the existing structures. Prior the issuance of the demolition permits, a historical assessment was conducted and City staff determined that the existing structures were not historically or architecturally significant.

The project site is surrounded by urban development in the form of single family residential to the southwest, south, and east, which are zoned as single family residential (SF-5000 Zone) in the SESDPD. The sites are designated as Residential-Low Density (5-10 dwelling units per acre (du/ac)) and within the Protected Single-Family Neighborhoods planning area in the SESDCP. The property directly north and northwest is developed with a retail center called the Euclid Plaza Center, which is zoned as a commercial center area (CT-2 Zone) in the SESDPD, and designated for General Commercial use in the SESDCP.

DISCUSSION

Project Description:

San Ysidro Health Center Inc. (SYHC), owner, is proposing the construction of a three-story, 25,100 square foot, outpatient medical and dental office building for the relocation of their existing facility and services from 286 Euclid Avenue, located north of Imperial Avenue. This new facility will be named the Euclid Family Health Center. The first floor would contain the main lobby/entry services, registration areas, x-ray, lab, conference room, family counseling area, and educational space. The second floor would accommodate the primary care services, including women's and pediatric health clinic. The third floor would contain the dental clinic and Women's and Infant Nutrition (WIC) Program. The structure would be approximately 57.5-feet in height and vehicular access would occur off of S. Euclid Avenue.

Development of the proposed project requires the approval of a Site Development Permit (SDP) for a project requesting deviations to the development regulations (parking), and for development within the SESDPD. The development is proposing to achieve a LEED 'Silver' Level Certification, and qualifies as a Sustainable Building under Council Policies 900-14 and 600-27. The land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Project-Related Issues:

Transportation/Circulation- A traffic study was prepared by LOS Engineering, Inc. (January 13, 2011), in order to assess potential traffic impacts associated with the project. The traffic study determined that the project would generate 1,255 average daily trips (ADT) with 75 AM peak hour trips (60 inbound and 15 outbound) and 126 PM peak hour trips (38 inbound and 88 outbound). The principal roadway in the project study area is S. Euclid Avenue, which is classified as a Major Road in the project vicinity according to the SESDCP, but functions as a four-lane collector. S. Euclid Avenue, from Olvera Avenue to Solola Avenue is an undivided roadway with two travel lanes in each direction with bike lanes and a posted speed limit of 35 miles per hour. On street parking is not permitted due to bike lanes and bus service along the street. In addition, along the proposed development frontage, S. Euclid Avenue has approximately 77 feet of curb-to-curb pavement.

Under the Near-Term and the Horizon Year, all intersections and roadway segments would operate at a level of service (LOS) "C" or better with or without the project. Therefore, the development as proposed would not result in direct significant impacts in either the Near-Term or Horizon Year to any of the studied intersections or roadway segments since none are failing, and the project does not cause any unacceptable LOS.

Parking Deviation- The project site is located in the SESDPD within the SESDCP and is located outside of the Transit Area Overlay Zone (TAOZ). The proposed development would be required to provide a minimum of four (4) parking spaces per 1,000 square feet of floor area outside the TAOZ (which represent 100 on-site parking spaces) pursuant to the San Diego Municipal Code (SDMC). The applicant proposes a deviation to parking to allow for 3.43 parking spaces per

1,000 square feet of floor area for a total of 86 on-site parking spaces instead of the required 100 parking spaces.

SYHC currently operates three (3) other medical and dental facilities in the Southeastern San Diego community, and through various patient surveys, has determined that approximately 20-25 percent of their patients depend on public transportation (bus or trolley) services. Within the immediate vicinity of the project site and approximately 190 feet from the proposed new facility entry, is a Metropolitan Transit System (MTS) bus stop. There are three (3) bus lines (MTS Bus Routes No. 3, 13, and 11) within 0.1-miles of the project site. The frequency of services for Bus Routes No. 3 and 13 are approximately every 30 minutes and approximately every 40 minutes for Bus Route No. 11. The nearest trolley service is located at the Euclid Avenue Trolley Station, which is approximately one (1)-mile from the proposed facility.

SYHC provides patient transportation services at all of its medical clinics via health center-owned vehicles, including two (2) 12-passenger vans and one (1) 6-passenger van designed for elderly patients. Services include pick-up at home and return for patients with doctor/dentist appointments. These patient transportation services have been included as a Condition of approval for the new facility.

The proposed development will achieve a LEED 'Silver' Level Certification and the Public Transit Program outlined within the LEED goals/points includes preferred parking, cash incentive, and bicycle and shower facilities for the employees. Under this program, SYHC will subsidize 50-percent of the transit passes to benefit all employees. Based on the proximity to public transportation, the inclusion of the patient transportation services and the Public Transit Program, staff has determined that the proposed development with the requested parking deviation would not result in a parking deficiency impact that would affect the surrounding areas. Therefore, staff supports the requested parking deviation.

Community Plan Analysis:

The project site is located at 950 and 1060 S. Euclid Avenue, on the west side of S. Euclid Avenue, south of Logan Avenue, within the Lincoln Park neighborhood of the SESDCP. This community area is overseen by the Encanto Neighborhoods Community Planning Group. The project site is designated as General Commercial within the community plan, and complies with the Commercial Elements, Commercial Guidelines, and Neighborhood Elements of the plan for development pattern, building height building setbacks, lot consolidation, vehicular access, and landscaping. The design and location of the building, and parking layout directly address the Neighborhood Elements within the community plan that states the "parking area should not dominate the streetscape and the parking areas be screened so as to promote easy access."

The project site is surrounded by urban development in the form of single family residential to the southwest, south, and east, which are zoned as single family residential (SF-5000 Zone) in the SESDPD. These sites are designated as Residential-Low Density (5-10 du/ac) and within the Protected Single-Family Neighborhoods planning area in the SESDCP. The property directly north and northwest is development with a retail center called the Euclid Plaza Center, which is zoned as a commercial center area (CT-2 Zone) in the SESDPD and designated for General

Commercial use in the SESDCP. Therefore, the proposed development meets the goals and objective of the community plan and would not have an adverse impact on the surrounding community with respect to land use.

Environmental Analysis:

A Negative Declaration (ND) No. 219009 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines. The following environmental issues were considered in depth during the environmental review of the project and determined not to be potentially significant: Air Quality, Greenhouse Gas Emissions, Hazards & Hazardous Materials, and Transportation/Traffic.

Conclusion:

With the approval of the parking deviation, the proposed development meets all applicable regulations and policy documents, and staff finds the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, the Land Development Code including the SESDPD, and the General Plan. As a component of the project, the building will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy.

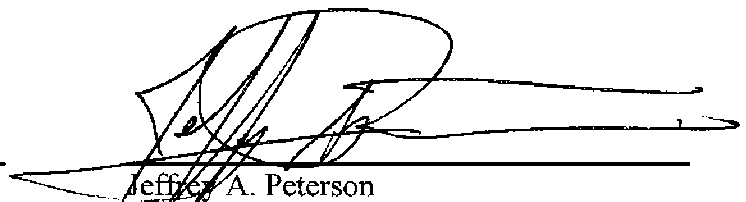
ALTERNATIVES

1. **CERTIFY** Negative Declaration No. 219009 and **APPROVE** Site Development Permit No. 779825, **with modifications.**
2. **DO NOT CERTIFY** Negative Declaration No. 219009 and **DENY** Site Development Permit No. 779825, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department



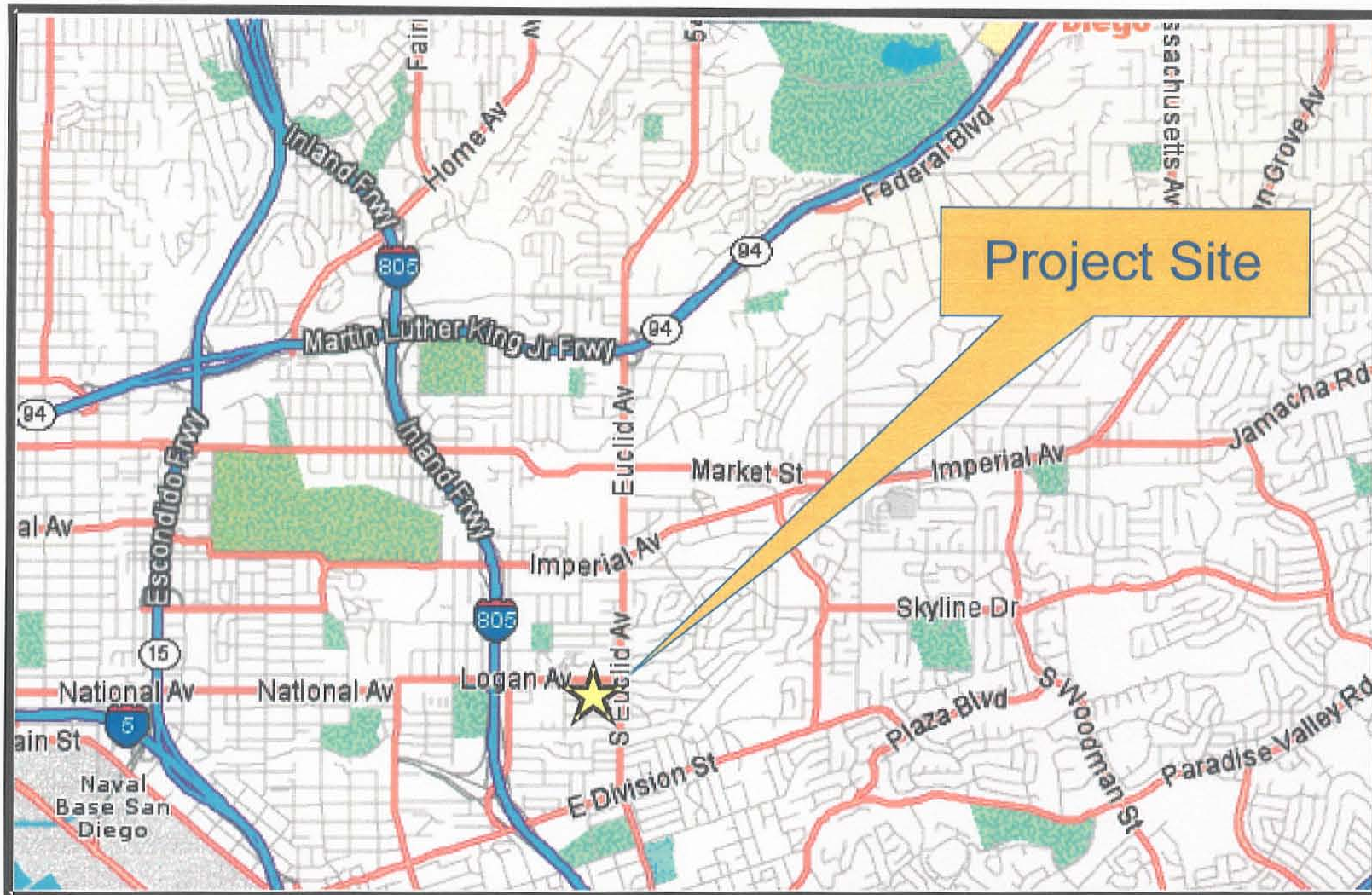
Jeffrey A. Peterson
Development Project Manager
Development Services Department

WESTLAKE/JAP

Attachments:

1. Project Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Project Data Sheet
6. SEDC Letter
7. Draft Permit Resolution with Findings
8. Draft Permit with Conditions
9. Draft Environmental Resolution (ND)
10. Project Plans
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement
13. Project Chronology

Internal Order No. 24001118



Location Map

Euclid Family Health Center-Project No. 219009
950 and 1060 S. Euclid Avenue

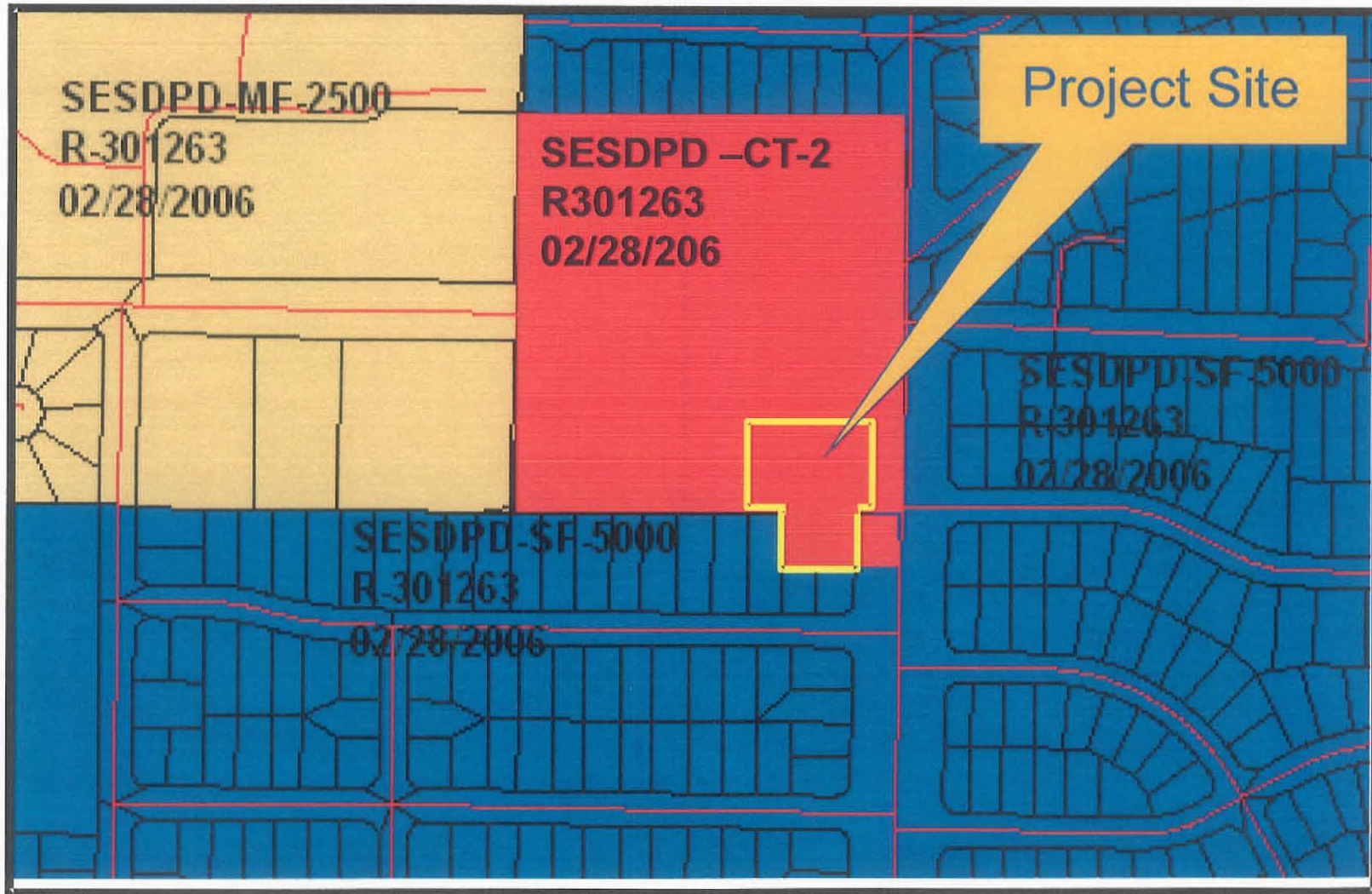




Aerial Photograph

Euclid Family Health Center-Project No. 219009
950 and 1060 S. Euclid Avenue

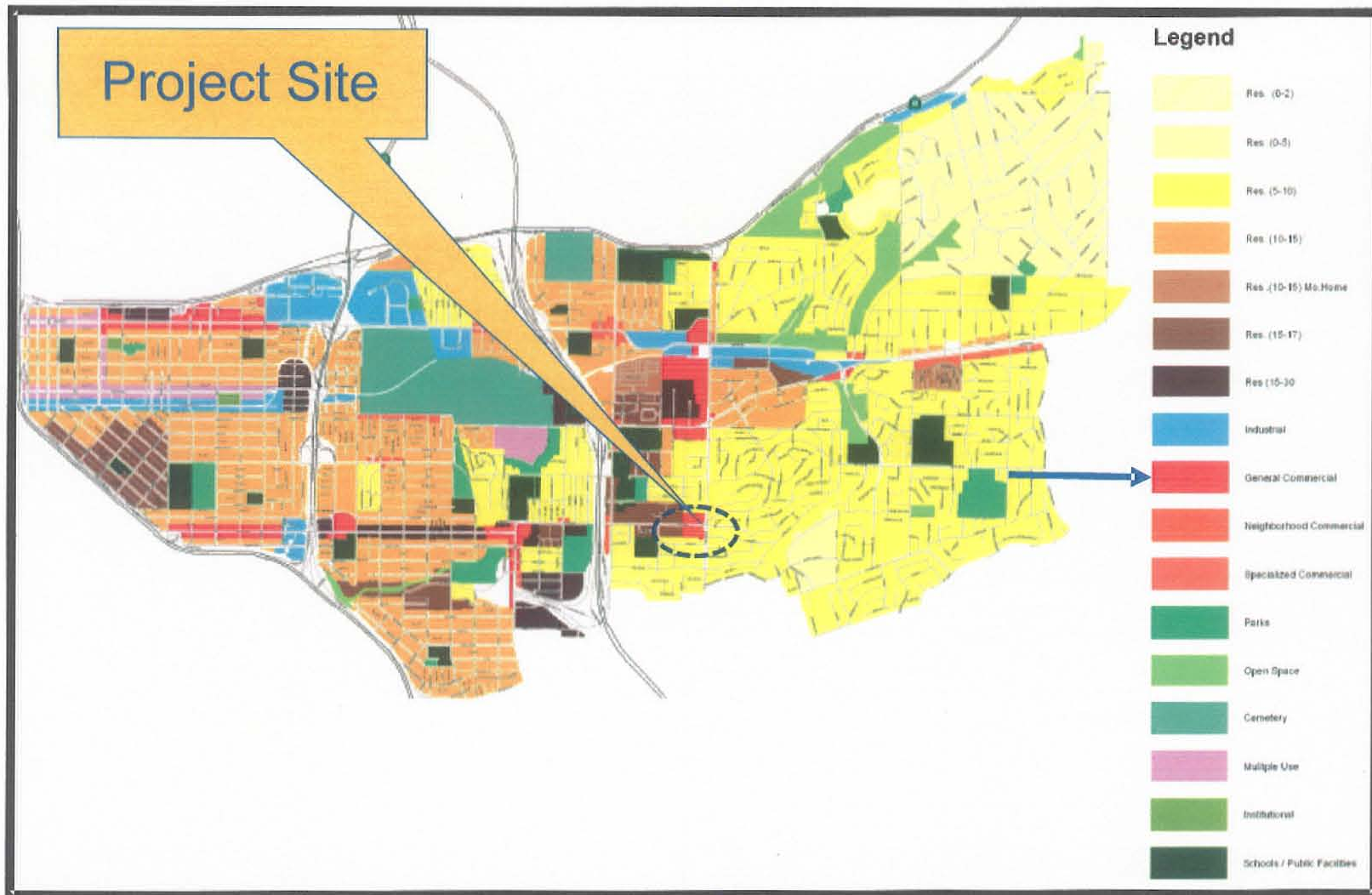




Zoning Map

Euclid Family Health Center-Project No. 219009
950 and 1060 S. Euclid Avenue

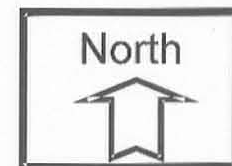




Community Land Use Map (SESD)

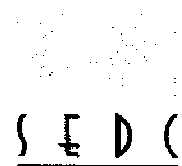
Euclid Family Health Center-Project No. 219009

950 and 1060 S. Euclid Avenue



PROJECT DATA SHEET

PROJECT NAME:	Euclid Family Health Center Project No. 219009	
PROJECT DESCRIPTION:	San Ysidro Health Center Inc. (SYHC), owner, is proposing the construction of a three-story, 25,100 square foot outpatient medical and dental office building for the relocation of their existing facility and services from 286 Euclid Avenue, located north of Imperial Avenue.	
COMMUNITY PLAN AREA:	Encanto Neighborhoods- Southeastern San Diego Community Plan	
DISCRETIONARY ACTIONS:	Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	General Commercial	
<div style="text-align: center;"> ZONING INFORMATION ZONE: CT-2 Zone-SESDPD HEIGHT LIMIT: None LOT SIZE: 10,000 square feet (minimum) FLOOR AREA RATIO: 1.00 LOT COVERAGE: 75 percent FRONT SETBACK: 15'0" (Site has an established 10' setback per Parcel Map) SIDE SETBACK: 0'0" (North PL) and 15'0" (South PL next to residential) STREETSIDE SETBACK: NA REAR SETBACK: 0'0" (North portion) and 15'0" (South portion next to residential) PARKING: 100 </div>		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	General Commercial/ CT-2 Zone-SESDPD	Commercial
SOUTH:	Low Density (5-10 D.U./Gross Acre) / SF-5000 Zone-SESDPD	Single-Family Residential
EAST:	Low Density (5-10 D.U./Gross Acre) / SF-5000 Zone-SESDPD	Single-Family Residential
WEST:	General Commercial/ CT-2 Zone-SESDPD and Low Density (5-10 D.U./Gross Acre) / SF-5000 Zone-SESDPD	Commercial and Single-Family Residential
DEVIATIONS OR VARIANCES REQUESTED:	Deviation to parking to allow for 3.43 parking spaces per 1,000 square feet of floor area for a total of 86 onsite parking spaces instead of required 100 parking spaces	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On February 7, 2011, the Encanto Neighborhoods Community Planning Group vote 7-1-0 to recommend approval of the proposed project.	



Southeastern
Economic
Development
Corporation

T 619 527-7345
F 619 262-0845
www.sedecinc.com

February 3, 2011

Jeff Peterson
Development Services, City of San Diego
1222 First Avenue, MS 302
San Diego, CA 92101

Via Email

Dear Mr. Peterson:

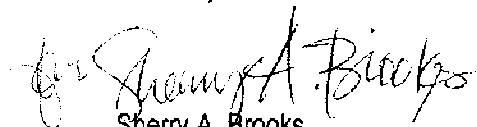
Re: Project No. 219009 – Euclid Family Health Center– Proposed Site Development Permit

SEDC is in support of Project No. 219009, for construction of the Euclid Family Health Center at 950 and 1060 S. Euclid Avenue in the Encanto Neighborhoods of the Southeastern San Diego Community Planning area, and we look forward to the completion of this facility for the Southeastern San Diego Community. The applicant was responsive and cooperative to our prior streetscape and landscape comments. On January 10, 2011, the applicant met with us to discuss our comments, and worked with us to find solutions. We are pleased with the final outcome that includes a 'Complete Street' design along the street frontage, with street trees and parkway for a more pedestrian-friendly environment. This implements the vision the Southeastern San Diego Community created for this area through the Urban Design Program of the Project First Class Neighborhood Landscaping Program.

Thank you for your help and assistance in our review of this project, and for quickly pulling together the applicant and city reviewers to look at options for locating street trees, parkway and streetscape.

If you have any questions of comments, please contact me at (619) 527-7345.

Sincerely,


Sherry A. Brooks
Project Manager

SB:eb

PLANNING COMMISSION RESOLUTION NO. xxxx
 SITE DEVELOPMENT PERMIT NO. 779825
EUCLID FAMILY HEALTH CENTER - PROJECT NO. 219009

WHEREAS, SAN YSIDRO HEALTH CENTER INC., Owner/Permittee, filed an application with the City of San Diego for a permit to construct a three-story, 25,100 square foot, outpatient medical and dental office building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 779825), on portions of a 1.03-acre site;

WHEREAS, the project site is located at 950 and 1060 S. Euclid Avenue, on the west side of S. Euclid Avenue, south of Logan Avenue, in the CT-2 Zone of the Southeastern San Diego Planned District within the Lincoln Park neighborhood of the Southeastern San Diego Community Plan;

WHEREAS, the project site is legally described as Parcel 1, as shown on Parcel Map No. 4805, filed June 10, 1976 at File No. 76-179215 in the office of the County Recorders of San Diego, California, being a portion of Lot 63 of Horton's Purchase, according to Map thereof No. 283, Filed in the office of the County Recorder of said County of San Diego; and Lot 85 of O.D. Arnold's Bonnieview Unit No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 3572, filed in the office of the County Recorder of San Diego County, December 24, 1956;

WHEREAS, on March 10, 2011, the Planning Commission of the City of San Diego considered Site Development Permit No. 779825 pursuant to the Land Development Code of the City of San Diego;
 NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated March 10, 2011.

FINDINGS:

I. Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan;

The project site is located at 950 and 1060 S. Euclid Avenue in the CT-2 Zone of the Southeastern San Diego Planned District (SESDPD) within the Lincoln Park neighborhood of the Southeastern San Diego Community Plan (SESDCP). The commercial elements in the SESDPD are contained in three distinct design zones which are further regulated by use categories. The CT-2 Zone designation is a commercial center area zone that generally contains its own internal vehicular circulation and parking, and functions as an independent entity. In addition, the use category for the site is

Community-Commercial Category-2, which allows for medical and dental office use. The SESDCP designates the site for General Commercial.

San Ysidro Health Center Inc. (SYHC) is proposing the construction of a three-story, 25,100 square foot, outpatient medical and dental office building for the relocation of their existing facility and services from 286 Euclid Avenue, located north of Imperial Avenue. This new facility will be named the Euclid Family Health Center. With the approval of a requested parking deviation, the proposed development meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, the Land Development Code (LDC) including the SESDPD, and the General Plan. The proposed development will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy. Therefore, the proposed development would not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The proposed development is for the construction of a three-story, 25,100 square foot, outpatient medical and dental office building on portions of a 1.03-acre site. A Negative Declaration (ND) No. 219009 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines. The environmental issues for Air Quality, Greenhouse Gas Emissions, Hazards & Hazardous Materials, and Transportation/Traffic were considered in depth during the environmental review of the project and determined not to be potentially significant.

With the approval of a requested parking deviation, the proposed development meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, the LDC including the SESDPD, and the General Plan. The proposed development will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy.

The permit for the proposed development will include various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the LDC in effect for this project. Such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in SDP No. 779825, and other regulations and guidelines pertaining to the subject property per the LDC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

With the approval of the parking deviation, the proposed development meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, LDC including the SESDPD, and the General Plan. The proposed development will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy.

M. Supplemental Findings--Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings

1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants;

SYHC is proposing the construction of a three-story, 25,100 square foot, outpatient medical and dental office building for the relocation of their existing facility and services from 286 Euclid Avenue, located north of Imperial Avenue. This new facility will be named the Euclid Family Health Center. With the approval of a requested parking deviation, the proposed development meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, the LDC including the SESDPD, and the General Plan. The proposed development will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy.

2. The development will not be inconsistent with the purpose of the underlying zone; and

The project site is located at 950 and 1060 S. Euclid Avenue in the CT-2 Zone of the SESDPD within the Lincoln Park neighborhood of the SESDCP. The commercial elements in the SESDPD are contained in three distinct design zones which are further regulated by use categories. The CT-2 Zone designation is a commercial center area zone that generally contains its own internal vehicular circulation and parking, and functions as an independent entity. In addition, the use category for the site is Community-Commercial Category-2, which allows for medical and dental office use. The SESDCP designates the site for General Commercial.

SYHC is proposing the construction of a three-story, 25,100 square foot, outpatient medical and dental office building for the relocation of their existing facility and services from 286 Euclid Avenue, located north of Imperial Avenue. This new facility will be named the Euclid Family Health Center. With the approval of a requested parking deviation, the proposed development meets all applicable regulations and policy

documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, the LDC including the SESDPD, and the General Plan. Therefore, the proposed development will not be inconsistent with the purpose of the underlying zone.

3. Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The project site is located in the SESDPD within the SESDCP and is located outside of the Transit Area Overlay Zone (TAOZ). The project would be required to provide a minimum of four (4) parking spaces per 1,000 square feet of floor area outside the TAOZ, which represent 100 on-site parking spaces pursuant to the LDC. The proposed development includes a request for a deviation to parking to allow for 3.43 parking spaces per 1,000 square feet of floor area for a total of 86 on-site parking spaces instead of required 100 parking spaces.

SYHC currently operates three (3) other medical and dental facilities in the Southeastern San Diego community, and through various patient surveys, has determined that approximately 20-25 percent of their patients depend on public transportation (bus or trolley) services. Within the immediate vicinity of the project site and approximately 190 feet for the proposed new facility entry, there is a Metropolitan Transit System (MTS) bus stop. There are three (3) bus lines (MTS Bus Routes No. 3, 13, and 11) within 0.1-miles of the project site. The frequency of services for Bus Routes No. 3 and 13 are approximately every 30 minutes and approximately every 40 minutes for Bus Route No. 11. The nearest trolley service is located at the Euclid Avenue Trolley Station, which is approximately one (1)-mile from the proposed facility.

SYHC provides patient transportation services at all of its medical clinics via health center-owned vehicles, includes two (2) 12-passenger vans and one (1) 6-passenger van designed for elderly patients. Services include pick-up at home and return for patients with doctor/dentist appointments. These patient transportation services have been included in SDP No. 779825 as conditions of approval for the new facility.

The proposed development will achieve a LEED 'Silver' Level Certification and the Public Transit Program outlined within the LEED goals/points includes preferred parking, cash incentive, and bicycle and shower facilities for the employees. Under this program, SYHC will subsidize 50-percent of the transit passes to benefit all employees. Based on the proximity to public transportation, the inclusion of the patient transportation services, and the Public Transit Program, the analysis determined that the proposed development with the requested parking deviation would not result in a parking deficiency impact that would affect the surrounding areas.

II. Southeastern San Diego (PDO) – Section 1519.0202 (c)

- 1. The proposed use and project design meet the purpose and intent of the Southeastern San Diego Planned District Ordinance, comply with the recommendations of the Southeastern San Diego Community Plan, and will not adversely affect the General Plan or other applicable plans adopted by the City Council;**

The project site is located at 950 and 1060 S. Euclid Avenue in the CT-2 Zone of the SESDPD within the Lincoln Park neighborhood of the SESDCP. The commercial elements in the SESDPD are contained in three distinct design zones which are further regulated by use categories. The CT-2 Zone designation is a commercial center area zone that generally contains its own internal vehicular circulation and parking, and functions as an independent entity. In addition, the use category for the site is Community-Commercial Category-2, which allows for medical and dental office use. The SESDCP designates the site for General Commercial.

SYHC is proposing the construction of a three-story, 25,100 square foot, outpatient medical and dental office building for the relocation of their existing facility and services from 286 Euclid Avenue, located north of Imperial Avenue. This new facility will be named the Euclid Family Health Center. With the approval of a requested parking deviation, the proposed development meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, the LDC including the SESDPD, and the General Plan.

- 2. The proposed development shall be compatible with existing and planned land use on adjoining properties and shall not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community shall be achieved as far as practicable;**

The project site is located at 950 and 1060 S. Euclid Avenue in the CT-2 Zone of the SESDPD within the Encanto Neighborhoods of the SESDCP. The commercial elements in the SESDPD are contained in three distinct design zones which are further regulated by use categories. The CT-2 Zone designation is a commercial center area zone that generally contains its own internal vehicular circulation and parking, and functions as an independent entity. In addition, the use category for the site is Community-Commercial Category-2, which allows for medical and dental office use. The SESDCP designates the site for General Commercial.

The project site is surrounded by urban development in the form of single family residential to the southwest, south, and east, which are zoned as single family residential (SF-5000 Zone) in the SESDPD. The sites are designated as Residential-Low Density (5-10 dwelling units per acre (du/ac)) and within the Protected Single-Family Neighborhoods planning area in the SESDCP. The property directly north and northwest is development

with a retail center called the Euclid Plaza Center, which is zoned as a commercial center area (CT-2 Zone) in the SESDPD and designated as General Commercial in the SESDCP.

With the approval of the parking deviation, the proposed development meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, LDC including the SESDPD, and the General Plan. The proposed development will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy. Therefore, the proposed development shall be compatible with existing and planned land use on adjoining properties and shall not constitute a disruptive element to the neighborhood and community.

3. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity; and

The proposed development is for the construction of a three-story, 25,100 square foot, outpatient medical and dental office building on portions of a 1.03-acre site. ND No. 219009 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines. The environmental issues for Air Quality, Greenhouse Gas Emissions, Hazards & Hazardous Materials, and Transportation/Traffic were considered in depth during the environmental review of the project and determined not to be potentially significant.

With the approval of a requested parking deviation, the proposed development meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, the LDC including the SESDPD, and the General Plan. The proposed development will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy.

The permit for the proposed development will include various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the LDC in effect for this project. Such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in Site Development Permit No. 779825, and other regulations and guidelines pertaining to the subject property per the LDC. Therefore, the proposed development will not be detrimental to the public health, safety, and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

4. The proposed use will comply with the relevant regulations of the Municipal Code.

With the approval of the parking deviation, the proposed development meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, LDC including the SESDPD, and the General Plan. The proposed development will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 779825 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 779825, a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services Department

Adopted on: March 10, 2011

Internal Order No. 24001118

**RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501**

**WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24001118

**SITE DEVELOPMENT PERMIT NO. 779825
EUCLID FAMILY HEALTH CENTER - PROJECT NO. 219009
PLANNING COMMISSION**

This Site Development Permit No. 779825 is granted by the Planning Commission of the City of San Diego to SAN YSIDRO HEALTH CENTER INC., Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0504(a) and (m), and 1519.0202(c). The 1.03-acre site is located at 950 and 1060 S. Euclid Avenue, on the west side of S. Euclid Avenue, south of Logan Avenue, in the CT-2 Zone of the Southeastern San Diego Planned District within the Lincoln Park neighborhood of the Southeastern San Diego Community Plan. The project site is legally described as: Parcel 1, as shown on Parcel Map No. 4805, filed June 10, 1976 at File No. 76-179215 in the office of the County Records of San Diego, California, being a portion of Lot 63 of Horton's Purchase, according to Map thereof No. 283, Filed in the office of the County Recorder of said County of San Diego; and Lot 85 of O.D. Arnold's Bonnieview Unit No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 3572, filed in the office of the County Recorder of San Diego County, December 24, 1956.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a three-story, 25,100 square foot, outpatient medical and dental office building; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 10, 2011, on file in the Development Services Department.

The project shall include:

- a. The construction of a three-story, 25,100 square foot, outpatient medical and dental office building. The first floor would contain the main lobby/entry services, registration areas, x-ray, lab, conference room, family counseling area, and educational space. The second floor would accommodate the primary care services, including women's and pediatric health clinic. The third floor would contain the dental clinic and

Women's and Infant Nutrition (WIC) Program. The structure would be approximately 57.5-feet in height and vehicular access would occur off of S. Euclid Avenue;

- b. A deviation to parking to allow for 3.43 parking spaces per 1,000 square feet of floor area for a total of 86 on-site parking spaces instead of required four (4) parking spaces per 1,000 square feet of floor area for sites outside the Transit Area Overlay Zone, which represent a required 100 on-site parking spaces;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. Achieving a LEED 'Silver' Level Certification, as established by Council Policy 900-14; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the

event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of a building permit, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
12. Prior to the issuance of the certificate of occupancy, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practice (BMP) maintenance, satisfactory to the City Engineer.
13. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.
14. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, in accordance with the approved Water Quality Technical Report, satisfactory to the City Engineer.
15. Prior to the issuance of the certificate of occupancy, a Parcel Map to consolidate the existing lots into one lot, and dedication of additional right of way along Euclid Avenue in order to provide a minimum 10 feet curb to property line and enough right-of-way so that the sidewalks are within the public right-of-way, shall be recorded in the Office of the County Recorder.
16. Prior to the issuance of any construction permits, construction documents shall fully illustrate the area of proposed dedication of additional right of way along Euclid Avenue in order to provide a minimum 10 feet curb to property line.
17. The drainage system proposed for this development within the private property and outside of the public right-of-way shall be private, and shall be privately maintained and subject to approval by the City Engineer.
18. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 2009-009 DWQ and the Municipal Storm Water Permit, Order No. 2009-009(NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction

Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB.

19. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 2009-009 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in SWRCB Order No. 2009-009 DWQ.

GEOLOGY REQUIREMENTS:

20. Prior to issuance of any construction permits, the Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department.

21. Prior to exoneration of the bond and grading permit close-out, the Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department.

LANDSCAPE REQUIREMENTS:

22. Prior to issuance of any engineering permits for grading, construction documents for the revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.

23. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the Development Services Department for approval. Improvement plans shall take into account a 40 sq-ft area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

24. Prior to issuance of any construction permits for structures (including shell), complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

25. Prior to issuance of any certificate of occupancy, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.
26. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit. An Evergreen Screening Hedge shall be maintained at no less than 6-feet in height along the entire perimeter of the premises where abutting residentially zoned properties.
27. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.
28. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

29. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
30. Prior to the issuance of building permits, construction documents shall fully illustrate any design requirements to achieve a LEED 'Silver' Level Certification, in accordance with Council Policy 900-14.
31. All signs associated with this development shall comply with the citywide sign regulations in SDMC Chapter 14, Article 2, Division 12.
32. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
33. All fences constructed on-site shall be of wrought iron, wood, concrete or other masonry materials to the satisfaction of the Development Services Department.

TRANSPORTATION REQUIREMENTS

34. The Owner/Permittee shall maintain a minimum of 86 parking spaces including 4 accessible spaces, 2 motorcycle spaces, 2 bicycle spaces, and 2 bicycle lockers with showers

shall be maintained on the property at all times in the approximate locations shown on Exhibit "A." All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department.

35. The Owner/Permittee shall operate and maintain a minimum of two, 12-passenger vans and one, 6-passenger van for pick-up and return of patients (mostly elderly) between their residences and the facility during all hours of operation satisfactory to the City Engineer.

36. Prior to the issuance of any certificates of occupancy, the Owner/Permittee shall install, by permit and bond, a City standard 14 feet wide raised median along its frontage on Euclid Avenue (as shown on the plans), and re-striping Euclid Avenue south of this raised median to provide a north-bound left turn lane into the frontage road satisfactory to the City Engineer. Applicant shall also install an R6-1 (RT) "ONE WAY" (RT) sign on the raised median facing the exiting vehicles from the project's northerly driveway.

PUBLIC UTILITIES DEPARTMENT (PUD) REQUIREMENTS (Wastewater & Water):

37. Prior to the issuance of any certificates of occupancy, the Owner/Permittee shall design and construction, by permit and bond, any new water and sewer service(s) outside of any driveway, and the disconnection at the water main of the existing unused water service adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

38. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer.

39. Prior to the issuance of any certificates of occupancy, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

40. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of

the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on March 10, 2011, and [Approved Resolution Number].

Permit Type/PTS Approval No.: SDP/ 779825
Date of Approval: March 10, 2011

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

San Ysidro Health Center Inc.
Owner/Permittee

By _____
Name:
Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION RESOLUTION NO. xxxx
NEGATIVE DECLARATION NO. 219009
EUCLID FAMILY HEALTH CENTER - PROJECT NO. 219009
DRAFT

WHEREAS, on December 8, 2010, SAN YSIDRO HEALTH CENTER INC., Owner/Permittee, filed an application with the City of San Diego for a permit to construct a three-story, 25,100 square foot, outpatient medical and dental office building (as described in and by reference to the Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No. 779825), on portions of a 1.03-acre site;

WHEREAS, the project site is located at 950 and 1060 S. Euclid Avenue, on the west side of S. Euclid Avenue, south of Logan Avenue, in the CT-2 Zone of the Southeastern San Diego Planned District within the Lincoln Park neighborhood of the Southeastern San Diego Community Plan;

WHEREAS, the project site is legally described as Parcel 1, as shown on Parcel Map No. 4805, filed June 10, 1976 at File No. 76-179215 in the office of the County Recorders of San Diego, California, being a portion of Lot 63 of Horton's Purchase, according to Map thereof No. 283, Filed in the office of the County Recorder of said County of San Diego; and Lot 85 of O.D. Arnold's Bonnieview Unit No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 3572, filed in the office of the County Recorder of San Diego County, December 24, 1956;

WHEREAS, the permit was set for a public hearing to be conducted by the Planning Commission of the City of San Diego;

WHEREAS, the issue was considered by the Planning Commission of the City of San Diego on March 10, 2011; and

WHEREAS, the Planning Commission of the City of San Diego considered the issues discussed in Negative Declaration No. 219009; NOW THEREFORE,

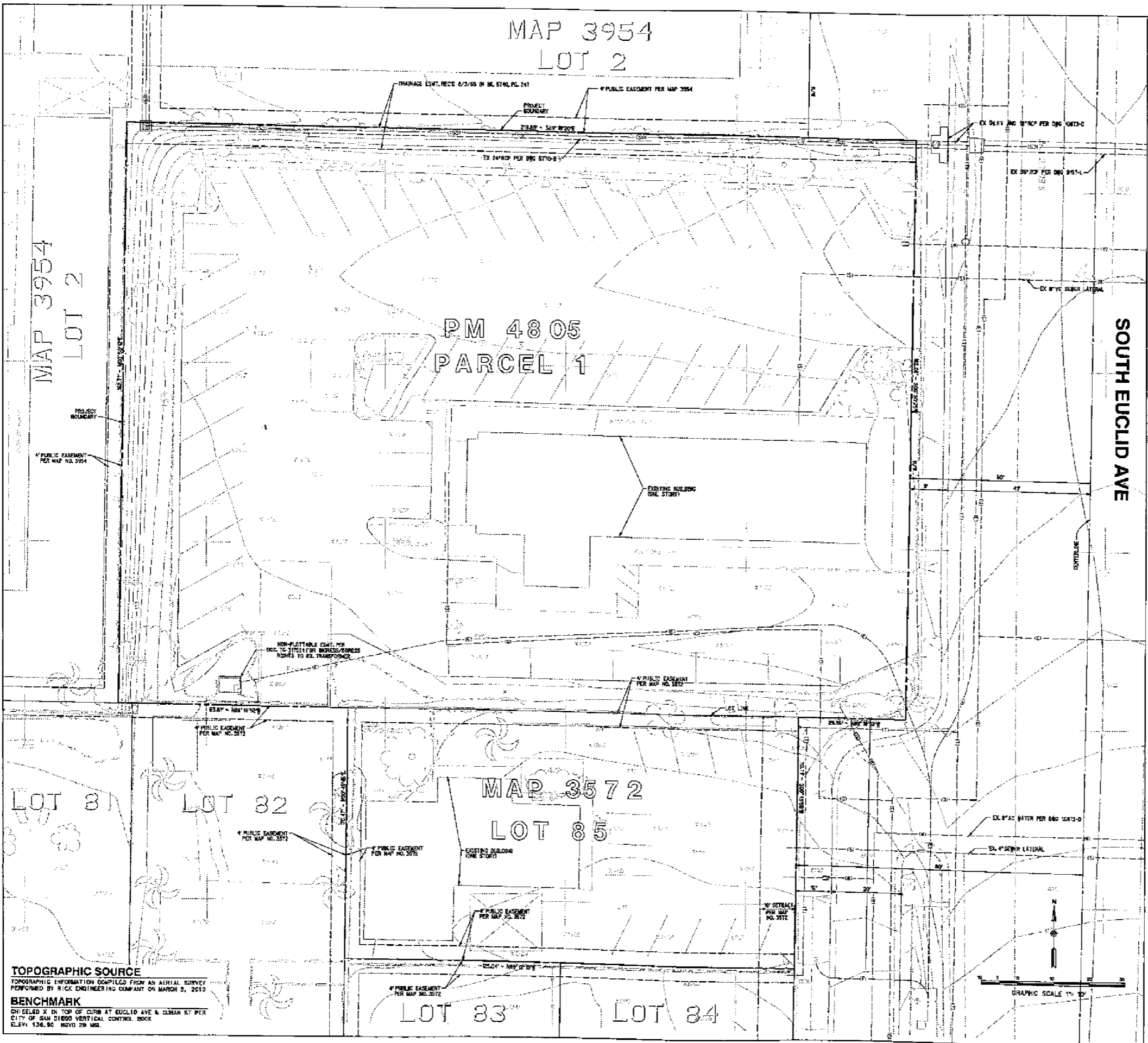
BE IT RESOLVED, by the Planning Commission of the City of San Diego, that it is hereby certified that Negative Declaration No. 219009 has been completed in compliance with the California Environmental Quality Act of 1970 (California Public Resources Code Section 21000 et seq.) as amended, and the State guidelines thereto (California Administration Code Section 15000 et seq.), that the report reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said report, together with any comments received during the public review process, has been reviewed and considered by the Planning Commission; directing staff to file a Notice of Determination.

BE IT FURTHER RESOLVED that the Planning Commission of the City of San Diego finds, based upon the Initial Study and any comments received, that there is no substantial evidence that the project will have a significant effect on the environment and therefore, that said Negative Declaration is hereby approved.

Jeffrey A. Peterson
Development Project Manager
Development Services Department

Adopted on: March 10, 2011

Internal Order No. 24001118



NTD
ARCHITECTURE

1855 Chimes Ridge Drive, Suite 400
San Diego, California 92123
(619) 551-1400

WWW.NTD.COM

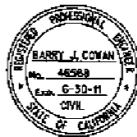
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LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- CONTOUR LINE
- SPOT ELEVATION
- RETAINING WALL
- EXISTING WATER
- EXISTING SEWER
- EXISTING DRY UTILITIES
- EXISTING STORM DRAIN

RICK
ENGINEERING COMPANY

5620 FRIARS ROAD
SAN DIEGO, CA 92110
619.291.0707
(FAX) 619.291.4165



BARRY J. COWAN RCE #6588 DATE

DESIGN REVIEW PLANS

- 9-SHEET INDEX
- 0-01 G.M.L.
- 0-02 TOPOGRAPHIC MAP
- 0-03 DETAIL SHEET
- 0-04 GROUNDWATER UTILITY PLAN
- 0-05 PUBLIC IMPROVEMENT PLAN
- ARCHITECTURE
- A-0 COVER SHEET
- A-1 SITE UTILIZATION PLAN
- A-2 ACCESSIBILITY AND FIRE ACCESS PLAN
- A-3 FIRST FLOOR PLAN
- A-4 SECOND FLOOR PLAN
- A-5 THIRD FLOOR PLAN
- A-6 ROOF PLAN
- A-7 SITE SECTION/MONUMENTAL SIGN
- A-8 EXTERIOR ELEVATIONS
- A-9 EXTERIOR ELEVATIONS
- A-10 DIS-SETTING PLANS (EAST ELEVATION)
- LANDSCAPE
- L-1 PLANTING TREE PLAN
- L-2 LANDSCAPE DEVELOPMENT PLAN
- ELFSCHEIDT
- E-1 SITE PHOTOGRAPHIC PLAN

OWNER:
SAN YSIDRO HEALTH CENTER
1275 WEST STREET
SAN DIEGO, CA 92104
(619) 594-0100

ARCHITECT:
RICK ENGINEERING COMPANY
5620 FRIARS ROAD
SAN DIEGO, CA 92110
(619) 291-0707

PROJECT ADDRESS:
EUCLID FAMILY HEALTH CENTER
387 AME YONG SOUTH EUCLID AVENUE
SAN DIEGO, CA 92114

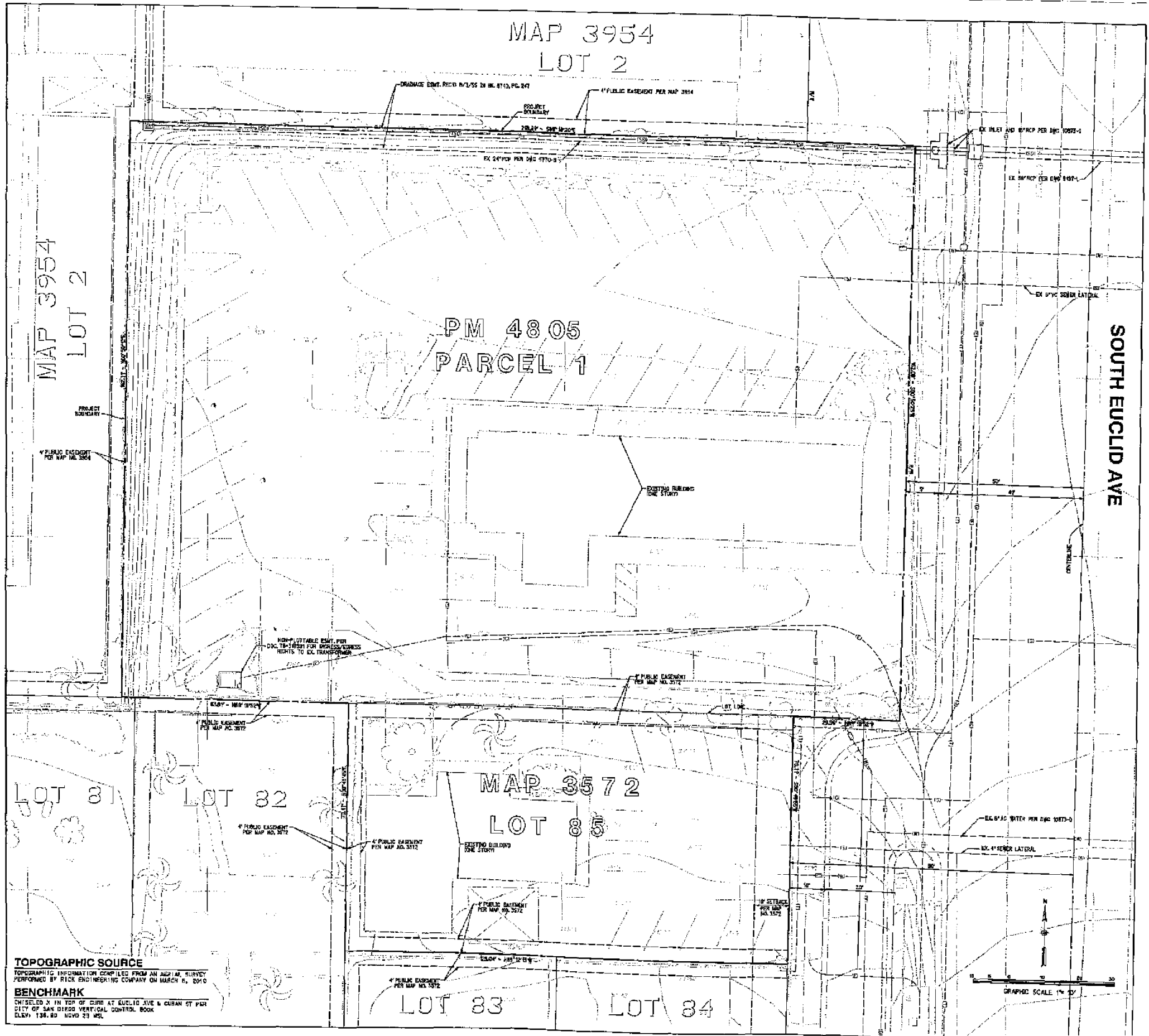
PROJECT: SAN YSIDRO HEALTH CENTER
EUCLID FAMILY HEALTH CENTER

TOPOGRAPHIC MAP

NO.	DATE	REVISION	PROJECT NO.	2009-0443-00
1	8.11.2010	PRELIMINARY REVIEW	FIRST SUBMITTAL DATE	DECEMBER 8, 2010
2	9.08.2010	FINAL PRELIMINARY REVIEW/REVISIONS	DRAWING NO.	C 1
3	12.01.2011	RE-SUBMITTAL		

TOPOGRAPHIC SOURCE
TOPOGRAPHIC INFORMATION COMPILED FROM AN AERIAL SURVEY PERFORMED BY RICK ENGINEERING COMPANY ON MARCH 3, 2010

BENCHMARK
CHISELED X IN TOP OF CURB AT EUCLID AVE & CLARK ST PER CITY OF SAN DIEGO VERTICAL CONTROL ROCK
ELEV. 136.90 NGVD 29 MSL



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5755 Oracle Ridge Circle, Suite 410
San Diego, California 92121
(619) 584-1440
www.ntd.com

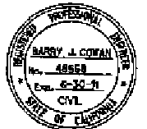
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LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- CONTOUR LINE
- SHOT ELEVATION
- RETAINING WALL
- EXISTING WATER
- EXISTING SEWER
- EXISTING DRY UTILITIES
- EXISTING STORM DRAIN

RICK
ENGINEERING COMPANY

5620 FRIARS ROAD
SAN DIEGO, CA 92110
619.291.0707
(FAX) 619.291.4165



Barry J. Cowan Joe Weiss DATE

DESIGN REVIEW PLANS

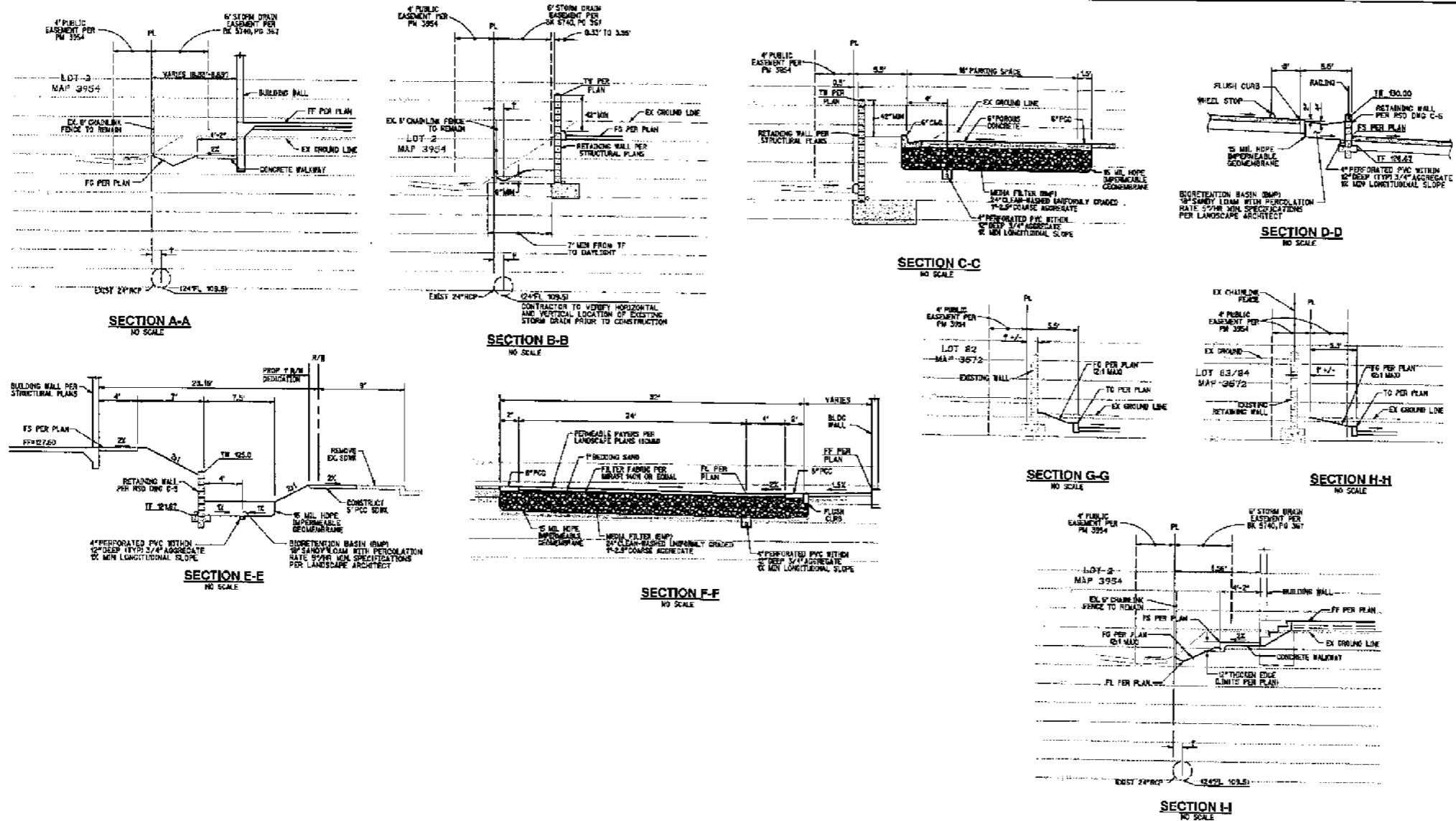
- | | |
|--|--|
| CLIENT
SAN YSIDRO HEALTH CENTER
1275 23RD STREET
SAN DIEGO, CALIFORNIA
(619) 584-4400 | OWNER
SAN YSIDRO HEALTH CENTER
1275 23RD STREET
SAN DIEGO, CALIFORNIA
(619) 584-4400 |
| ARCHITECT
NTD ARCHITECTURE
5755 ORACLE RIDGE CIRCLE, SUITE 410
SAN DIEGO, CA 92121
(619) 584-1440 | PREPARED BY
NTD ARCHITECTURE
5755 ORACLE RIDGE CIRCLE, SUITE 410
SAN DIEGO, CA 92121
(619) 584-1440 |
| LANDSCAPE
L-1 EXISTING TREE PLAN
L-2 LANDSCAPE DEVELOPMENT PLAN | PROJECT ADDRESS
EUCLID FAMILY HEALTH CENTER
535 AND 535 SOUTH EUCLID AVENUE
SAN DIEGO, CA 92114 |

PROJECT		SAN YSIDRO HEALTH CENTER	
DRAWING TITLE		EUCLID FAMILY HEALTH CENTER	
TOPOGRAPHIC MAP			
NO.	DATE	ISSUE	PROJECT NO.
1	8/11/2010	PRELIMINARY	2009-04-43-00
2	8/18/2010	REVIEW	FIRST SUBMITTAL DATE
3	1/28/2011	RE-SUBMITTAL	DECEMBER 8, 2010
		RE-SUBMITTAL	DRAWING NO.
		RE-SUBMITTAL	C 1

NTD
ARCHITECTURE

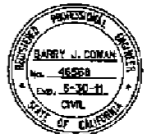
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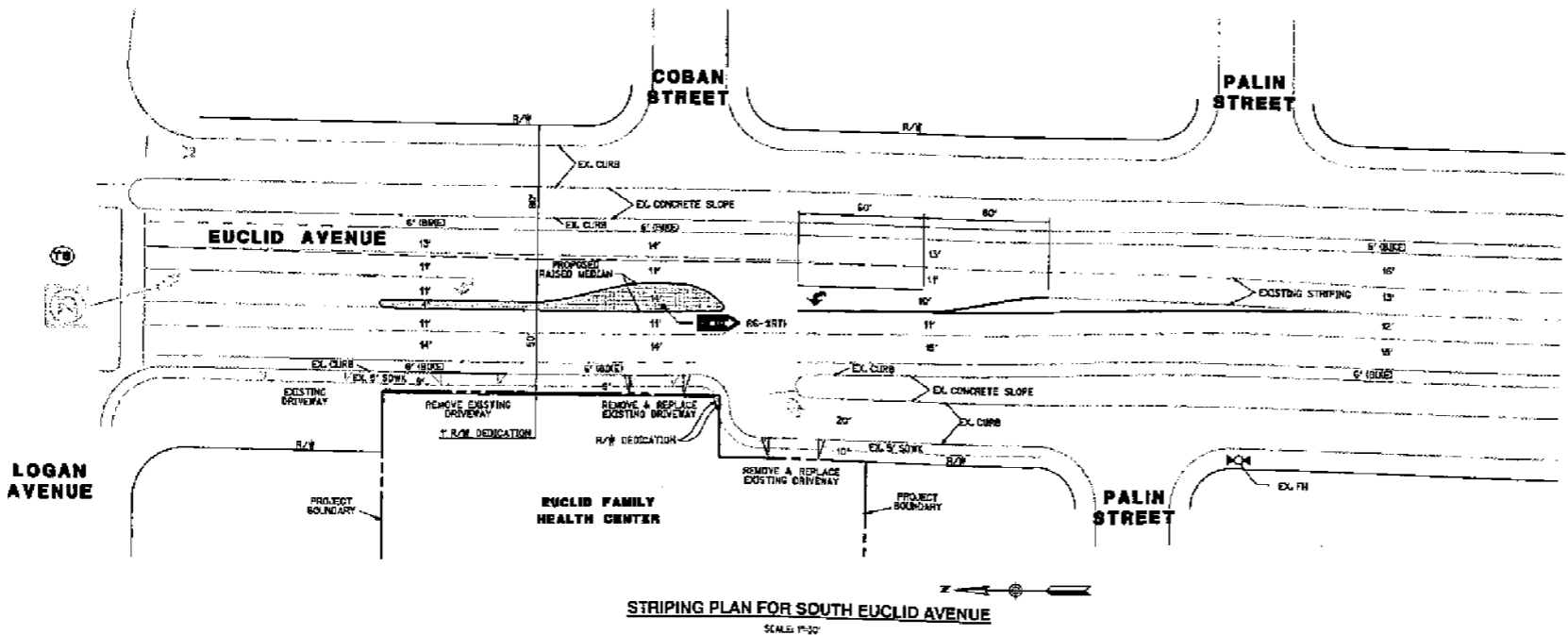


RICK
ENGINEERING COMPANY

5620 FRIARS ROAD
SAN DIEGO, CA 92110
619.291.0707
(FAX) 619.291.4165



BARRY J. CORBIN No. 45568 DATE



DESIGN REVIEW PLANS

SHEET INDEX:
C-1 TOPOGRAPHIC MAP
C-2 SITE LAYOUT PLAN
C-3 ACCESS DRIVE AND FIRE ACCESS PLAN
C-4 PUBLIC IMPROVEMENT PLAN
ARCHITECTURE:
A-1 COVER SHEET
A-2 SITE LAYOUT PLAN
A-3 ACCESS DRIVE AND FIRE ACCESS PLAN
A-4 FIRST FLOOR PLAN
A-5 SECOND FLOOR PLAN
A-6 THIRD FLOOR PLAN
A-7 FLOOR PLAN
A-8 SITE SECTION MONUMENTAL SIGN
A-9 EXTERIOR ELEVATIONS
A-10 EXTERIOR ELEVATIONS
LANDSCAPE:
L-1 EXISTING TREE PLAN
L-2 LANDSCAPE DEVELOPMENT PLAN
ELECTRICAL:
E-1 SITE PHOTOGRAPHIC PLAN

OWNER:
SAN YSIDRO HEALTH CENTER
1275 30TH STREET
SAN DIEGO, CA 92104
(619) 594-1000
ADDRESS: PARCEL NO. 222-438-00-00
222-438-00-00
222-438-00-00
PREPARED BY:
NTD ARCHITECTURE
1635 QUINCE ROAD DRIVE, SUITE 400
SAN DIEGO, CA 92103
PHONE: 619-444-4444 FAX: 619-444-4444
PROJECT ADDRESS:
EUCLID FAMILY HEALTH CENTER
5620 FRIARS ROAD
SAN DIEGO, CA 92110

PROJECT
SAN YSIDRO HEALTH CENTER
EUCLID FAMILY HEALTH CENTER

DETAIL SHEET

NO.	DATE	ISSUE	PROJECT NO.
1	8.14.2010	PRELIMINARY REVIEW	2008-0443-00
2	8.19.2010	2ND PRELIMINARY REVIEW (DISCUSS)	FIRST SUBMITTAL DATE: DECEMBER 3, 2010
3	1.26.2011	REVISED (REVISED)	OR ANYONE NO.

C2

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ARCHITECTURE

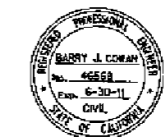
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LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- EXISTING CONTOUR LINE
- SPOT ELEVATION
- PROPOSED CONTOUR LINE
- CUT/FILL SLOPE (2:1 MAX)
- DAYLIGHT LINE
- AC PAVEMENT
- PERVIOUS CONCRETE WITH AGGREGATE BASE (BMP)
- PERMEABLE PAVEMENT WITH AGGREGATE BASE (BMP)
- PCD SIDEWALK
- CURB AND OUTLET
- RIP RAP
- RETAINING WALL
- WATER LATERAL
- FS FIRE SERVICE
- FD FIRE HYDRANT
- SD STORM DRAIN
- CB CATCH BASIN
- S SANITARY SEWER

RICK
ENGINEERING COMPANY

5620 FRIARS ROAD
SAN DIEGO, CA 92110
619.291.0707
(FAX) 619.291.4165



BARRY J. COWAN HCE 46658 DATE

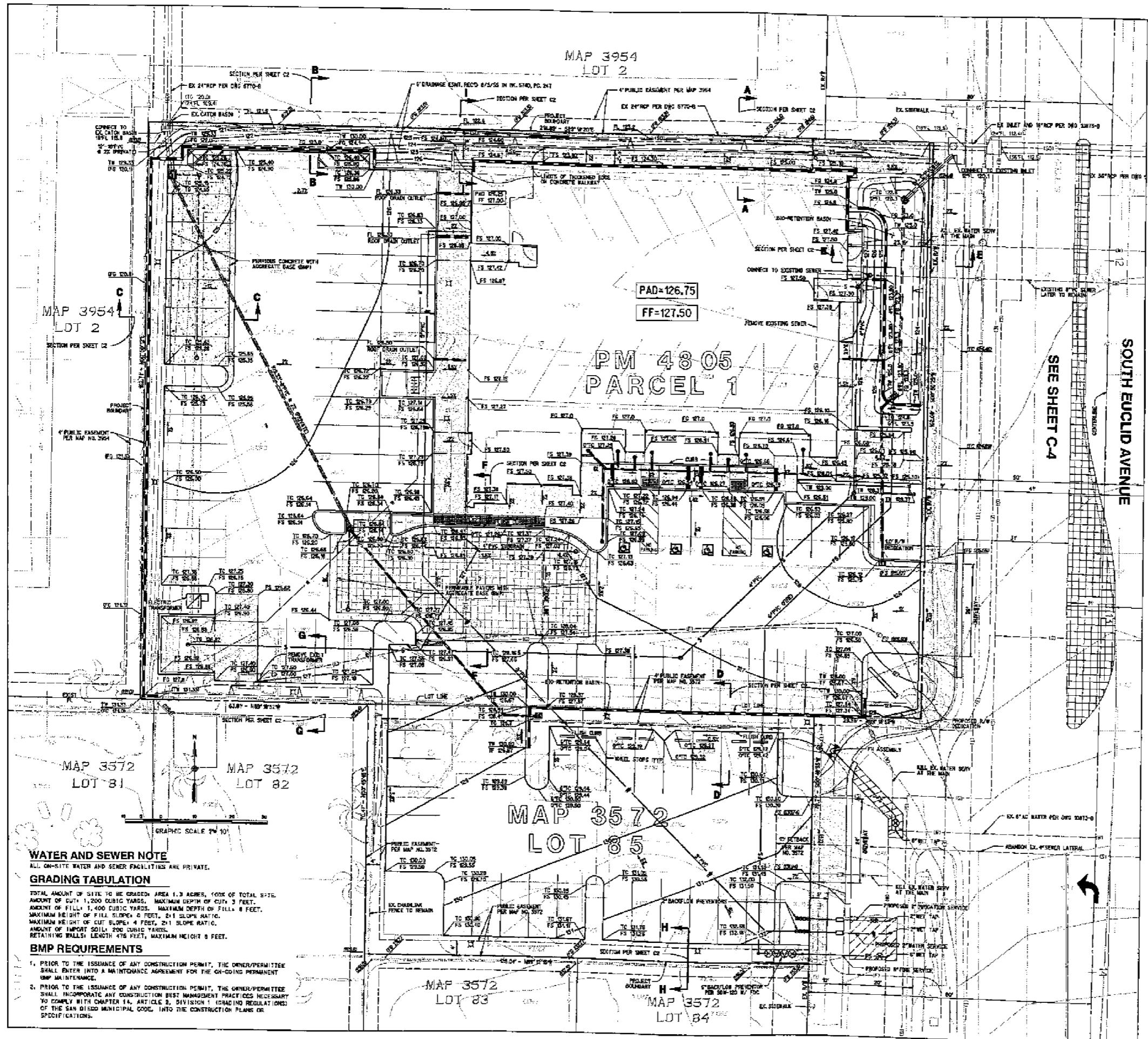
DESIGN REVIEW PLANS

- | | |
|--|--|
| <p>SHEET INDEX</p> <p>C-01 CIVIL</p> <p>C-02 TOPOGRAPHIC MAP</p> <p>C-03 DETAIL SHEET</p> <p>C-04 GRADING/UTILITY PLAN</p> <p>C-05 PUBLIC IMPROVEMENT PLAN</p> <p>ARCHITECTURE</p> <p>A-0 COVER SHEET</p> <p>A-1 SITE UTILIZATION PLAN</p> <p>A-2 ACCESSIBILITY AND FIRE ACCESS PLAN</p> <p>A-3 FIRST FLOOR PLAN</p> <p>A-4 SECOND FLOOR PLAN</p> <p>A-5 THIRD FLOOR PLAN</p> <p>A-6 ROOF PLAN</p> <p>A-7 SITE SECTION/ENVIRONMENTAL SIGN</p> <p>A-8 EXISTING ELEVATIONS</p> <p>A-9 OFF-SETTING PLANNES (EAST ELEVATIONS)</p> <p>LANDSCAPE</p> <p>L-1 EXISTING TREE PLAN</p> <p>L-2 LANDSCAPE DEVELOPMENT PLAN</p> <p>ELECTRICAL</p> <p>E-0 SITE PHOTOGRAPHIC PLAN</p> | <p>OWNER:
SAM YSHIRO HEALTH CENTER
1208 20TH STREET
SAN DIEGO, CA 92104
(619) 594-4100</p> <p>ARCHITECT:
NTD ARCHITECTURE
10000 CAMINO DEL RIO SOUTH, SUITE 400
SAN DIEGO, CA 92108
(619) 594-4444</p> <p>PREPARED BY:
WILLIAM H. HARRIS
P.E. 00000000000000000000
SAN DIEGO, CA 92108
(619) 594-4444</p> <p>PROJECT ADDRESS:
EUCLID FAMILY HEALTH CENTER
850 AND 1360 SOUTH EUCLID AVENUE
SAN DIEGO, CA 92104</p> |
|--|--|

PROJECT: SAM YSHIRO HEALTH CENTER
EUCLID FAMILY HEALTH CENTER

GRADING/UTILITY PLAN

NO.	DATE	ISSUE	PROJECT NO.
1	8.11.2010	PRELIMINARY REVIEW	2009-0443-00
2	9.08.2010	2ND PRELIMINARY REVIEW/REVISIONS	FIRST SUBMITTAL DATE: DECEMBER 6, 2009
3	1.02.2011	RE-SUBMITTAL (REVISION)	DRAWING NO. C 3



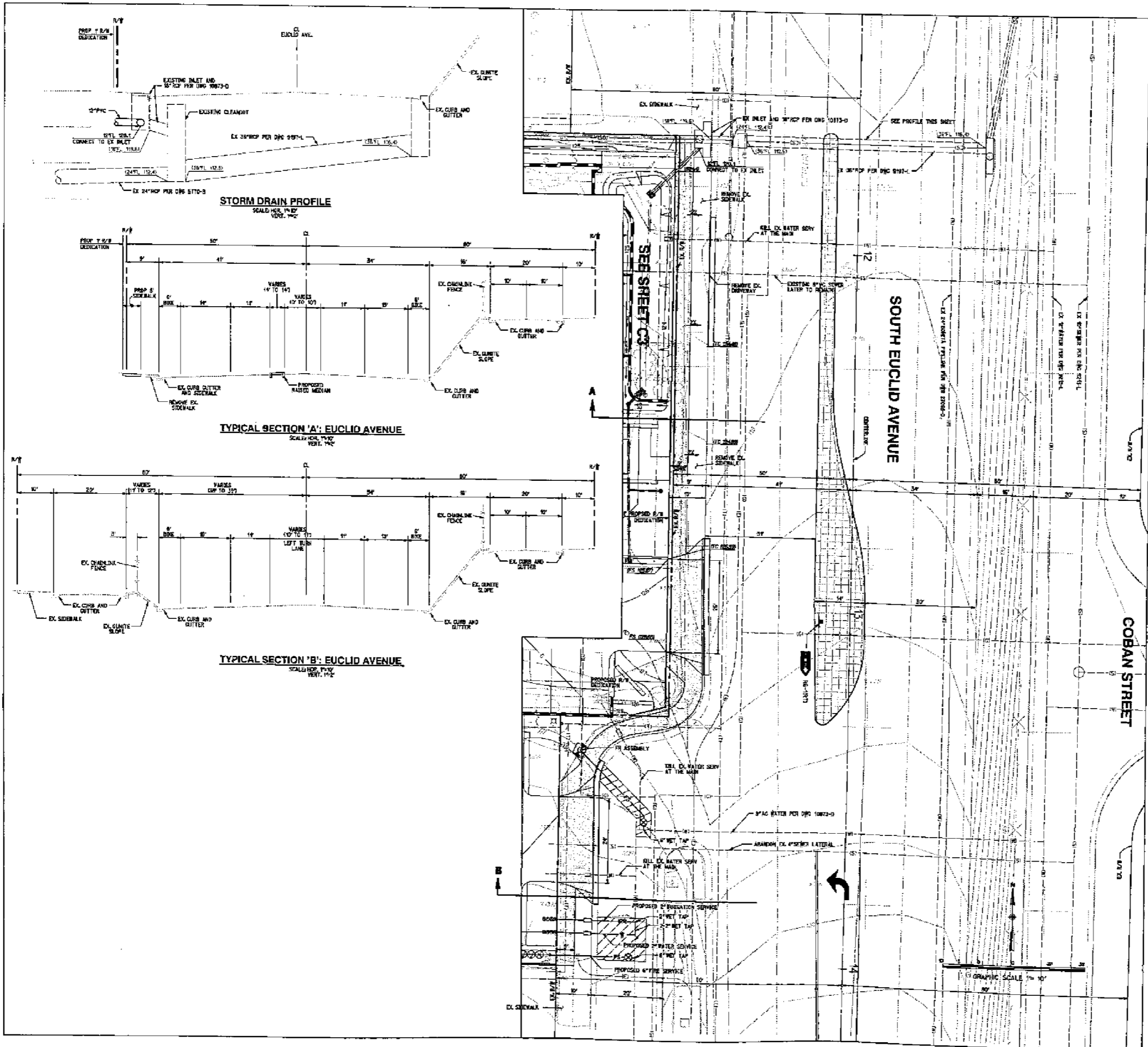
WATER AND SEWER NOTE
ALL ON-SITE WATER AND SEWER FACILITIES ARE PRIVATE.

GRADING TABULATION

TOTAL AMOUNT OF SITE TO BE GRADED AREA 1.3 ACRES, 100K OF TOTAL SITE.
AMOUNT OF DIRT 1,200 CUBIC YARDS. MAXIMUM DEPTH OF CUT 3 FEET.
AMOUNT OF FILL 1,400 CUBIC YARDS. MAXIMUM DEPTH OF FILL 8 FEET.
MAXIMUM HEIGHT OF CUT SLOPE 4 FEET, 2:1 SLOPE RATIO.
MAXIMUM HEIGHT OF FILL SLOPE 4 FEET, 2:1 SLOPE RATIO.
AMOUNT OF IMPORT SOIL 200 CUBIC YARDS.
RETAINING WALLS: LENGTH 475 FEET, MAXIMUM HEIGHT 8 FEET.

BMP REQUIREMENTS

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ON-GOING PERMANENT BMP MAINTENANCE.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

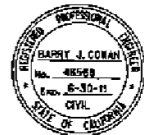


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SAN DIEGO, CA 92110
619.291.0707
(FAX) 619.291.4165



BARRY J. CONAN RCE 48568 DATE

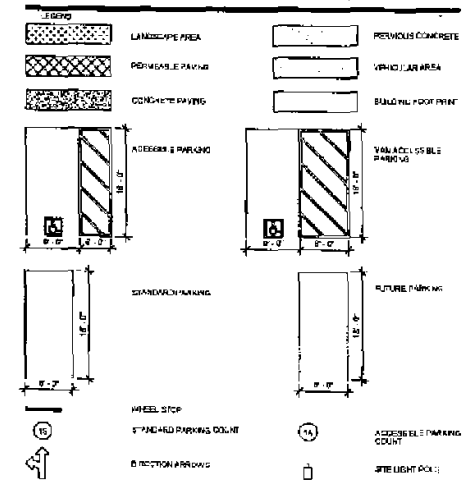
DESIGN REVIEW PLANS

RICKET INDEX		OWNER:	
C-1	TOPOGRAPHIC MAP	C-1	SAN YSIDRO HEALTH CENTER
C-2	DETAIL SHEET	C-2	1275 WEST STREET
C-3	CREATING UTILITY PLAN	C-3	SAN DIEGO, CA 92104
C-4	PUBLIC IMPROVEMENT PLAN	C-4	REVISED 11/01
ARCHITECTURE		PREPARED BY:	
A-0	COVER SHEET	A-0	NTD ARCHITECTURE
A-1	SITE UTILIZATION PLAN	A-1	9955 GRADY RIDGE DRIVE, SUITE 400
A-2	ACCESSIBILITY AND FIRE ACCESS PLAN	A-2	SAN DIEGO, CA 92121
A-3	FIRST FLOOR PLAN	A-3	619.592.1444 • FAX 619.592.1443
A-4	SECOND FLOOR PLAN	A-4	
A-5	THIRD FLOOR PLAN	A-5	
A-6	FOOT PLAN	A-6	
A-7	SITE SECTION MONUMENTALS ON	A-7	
A-8	EXTERIOR ELEVATIONS	A-8	
A-9	FOUR ELEVATIONS	A-9	
A-10	OFF-SETTING PLANS (EAST ELEVATION)	A-10	
LANDSCAPE		PROJECT ADDRESS:	
L-1	EXISTING TREE PLAN	L-1	EUCLID FAMILY HEALTH CENTER
L-2	LANDSCAPE DEVELOPMENT PLAN	L-2	350 AND 1000 SOUTH EUCLID AVENUE
ELECTRICAL		SAN DIEGO, CA 92114	
E-1	SITE PHOTOGRAPHIC PLAN	E-1	

PROJECT		SAN YSIDRO HEALTH CENTER	
		EUCLID FAMILY HEALTH CENTER	
DRAWING TITLE		PUBLIC IMPROVEMENT PLAN	
NO. DATE ISSUE		PROJECT NO. 2009-0443-00	
1	8/11/2010	PRELIMINARY REVIEW	
2	9/08/2010	2ND PRELIMINARY REVIEW/REPRESENTED	
3	1/26/2011	RE-SUBMITTAL EXPEDITED	
PROJECT DATE		2009-0443-00	
PROJECT SUBMITTAL DATE		DECEMBER 8, 2010	
DRAWING NO.		C4	



16 SPACES ARE ALLOWED THROUGH AN APPROVED ORATION THROUGH SEP 22, 1990.
ADDITIONAL USE OF TOTAL MARKING SPACES ARE DEDICATED TO FUEL EFFICIENT VEHICLES ONLY.



DESIGN REVIEW PLANS

[illegible]

LANDSCAPE
2.1 EXISTING TREE PLAN
2.2 LANDSCAPE DEVELOPMENT PLAN
ELECTRICAL
3.1 SITE PHOTO MOUNTED PLAN

PROJECT	SAN YSIDRO HEALTH CENTER EUCUID FAMILY HEALTH CENTER
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SITE UTILIZATION PLAN

NO.	REVISION	DATE	PROJECT NO.	2005-0443-00
1	01/20/00	PERMITS REVIEW	PROJECT NO.	000000000000000000
2	08/20/00	REVISIONS	PROJECT NO.	000000000000000000
3	01/20/01	REVISIONS	PROJECT NO.	000000000000000000
4	02/20/01	REVISION	PROJECT NO.	000000000000000000

A-1

5-1000 5 000 10 000

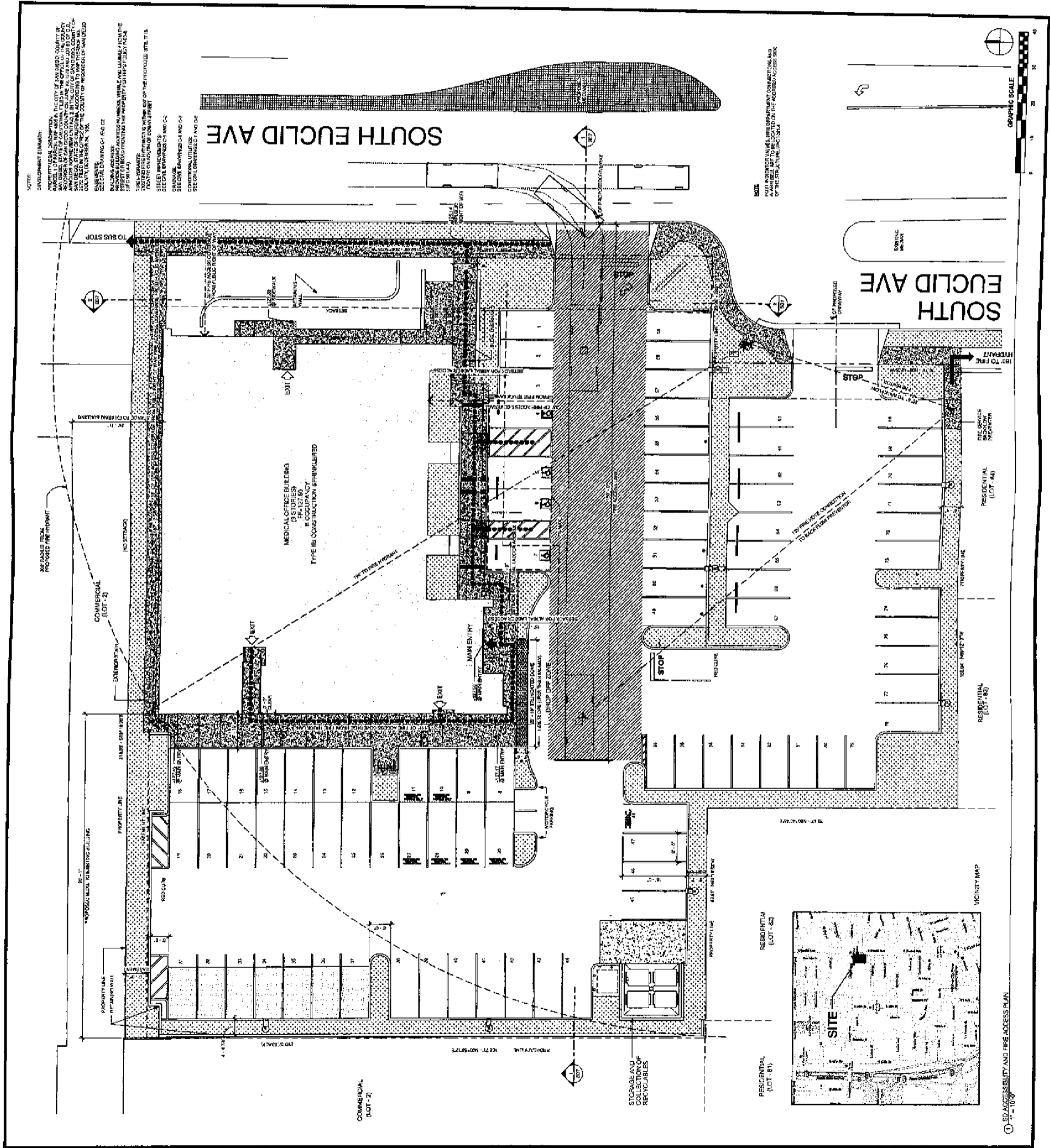
PROJECT DESCRIPTION

[illegible]

ACCESSIBLE PATH OF TRAVEL

50' EXTERIOR ROUTE FROM FDC

DESIGN REVIEW PLANS

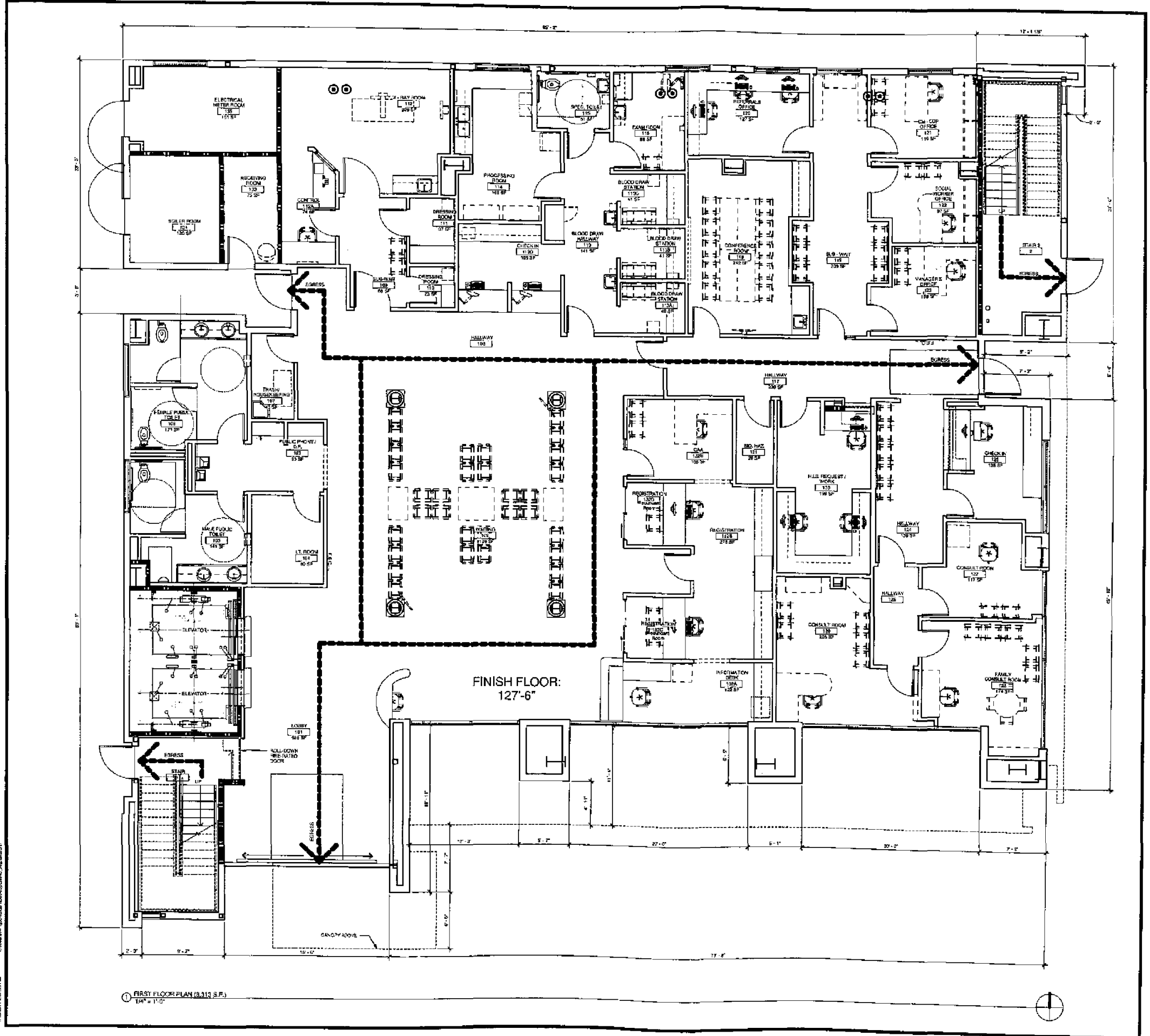
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LEGEND



DESIGN REVIEW PLANS

- 9-KEY INDEX
- OWNER: SAN YSIDRO HEALTH CENTER, 1275 30TH STREET, SAN DIEGO, CA 92164, 619.582.4100
- AS SEEN BY: NTD ARCHITECTURE, 8855 GRANITE RIDGE DRIVE, SUITE 400, SAN DIEGO, CA 92123, (619) 594-4444, FAX (619) 594-4443
- PROJECT ADDRESS: EUCLID FAMILY HEALTH CENTER, 865 AND 1650 SOUTH EUCLID AVENUE, SAN DIEGO, CA 92114
- DESIGN REVIEW PLANS (LAST EDITION)
- LANDSCAPE: 1. SITE LAYOUT PLAN, 2. EXISTING TREES PLAN, 3. LANDSCAPE DEVELOPMENT PLAN
- ELECTRICAL: 1. SITE TWO-DIMENSIONAL PLAN

PROJECT: SAN YSIDRO HEALTH CENTER
EUCLID FAMILY HEALTH CENTER

DRAWING TITLE: FIRST FLOOR PLAN

NO.	REVISION	DATE	ISSUED BY	PROJECT NO.	2009-0443-00
1	1. PRELIMINARY	11/11/10	NTD ARCHITECTURE	PROJECT NO.	2009-0443-00
2	2. PRELIMINARY	11/11/10	NTD ARCHITECTURE	PROJECT NO.	2009-0443-00
3	3. PRELIMINARY	11/11/10	NTD ARCHITECTURE	PROJECT NO.	2009-0443-00

A-3

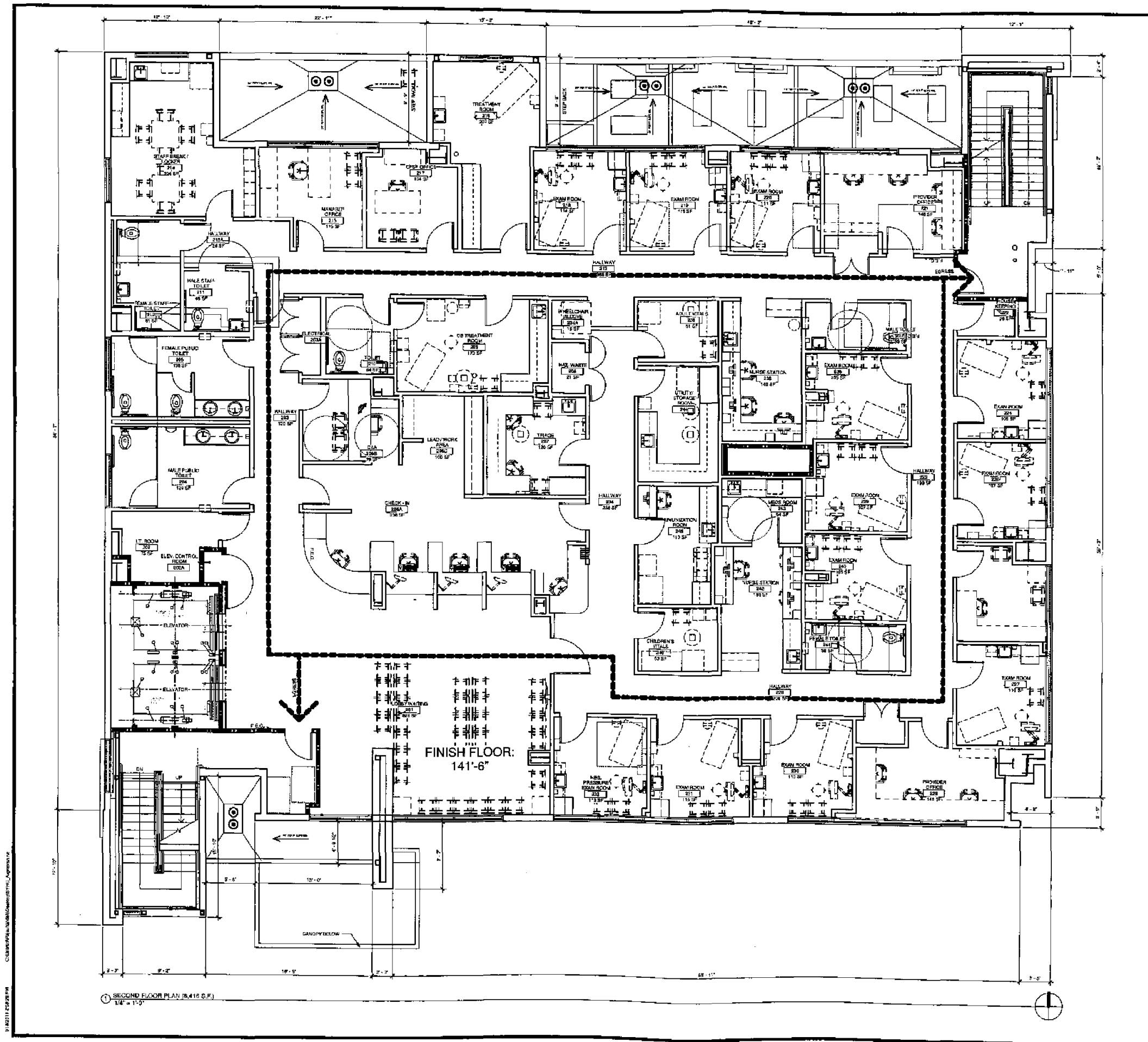


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LEGEND



EXPRESS PATH OF TRAVEL

NON-RATED PARTITION

1-HOUR FIRE RATED



DESIGN REVIEW PLANS

SHEET INDEX:

CIVIL

C-2	TOPOGRAPHIC BASE MAP
C-3	DETAIL SHEET
C-3	GRADING/UTILITY PLAN
C-4	PUBLIC IMPROVEMENT PLAN

ARCHITECTURAL

A-0 COVER SHEET
A-1 SITE UTILIZATION PLAN

A-2 ACCESSIBILITY AND FIRE ACCESS
A-3 FIRST FLOOR PLAN
A-4 SECOND FLOOR PLAN
A-5 THIRD FLOOR PLAN
A-6

A-6 FLOOR PLAN
A-7 SITE SECTIONS/MONUMENTAL
A-8 EXTERIOR ELEVATIONS
A-9 EXTERIOR ELEVATIONS
A-10 OFF-SETTING PLANES (EAST E)

LANDSCAPE

ELECTRICAL

PROJECT	SAI
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EUCLID

DRAWING TITLE

SECOND FLOOR PLAN

NO.	REVISION	ISSUE
1	5/1/2012	PRELIMINARY

2	9.09.2010	END PRELIMINARY REVIEW (EXPENSE)
---	-----------	----------------------------------

3 01-20-2011 18-Submittal
EXP-1010

OWNER:
SAN YSIDRO HEALTH CENTER
1275 35TH STREET
SAN DIEGO, CA 92154
(619) 582-4750

4556 JOHN'S PARCEL, NO. 1
F22-620-05-00
352-160-27-00

PREPARED BY:
NTD ARCHITECTURE
9655 GRANITE HEDGE DRIVE, SUITE 400
SAN DIEGO, CA 92123

PROJECT ADDRESS:
EUGENE FAIRVIEW HEALTH CENTER
400 JACKSON STREET, SUITE 200
EUGENE, OREGON 97401

260 ADDITION SOUTH BUCKS AVENUE
SAN DIEGO, CA. 92114

11

HEALTH CENTER
HEALTH CENTER

HEALTH CENTER

PROJECT NO. 2008-043-00

FIRST OFFICIAL DECEMBER 8 2008

DRAWING NO. A-1

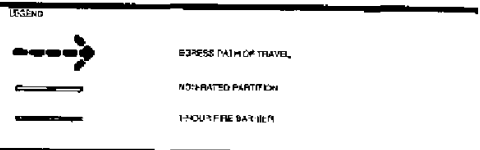
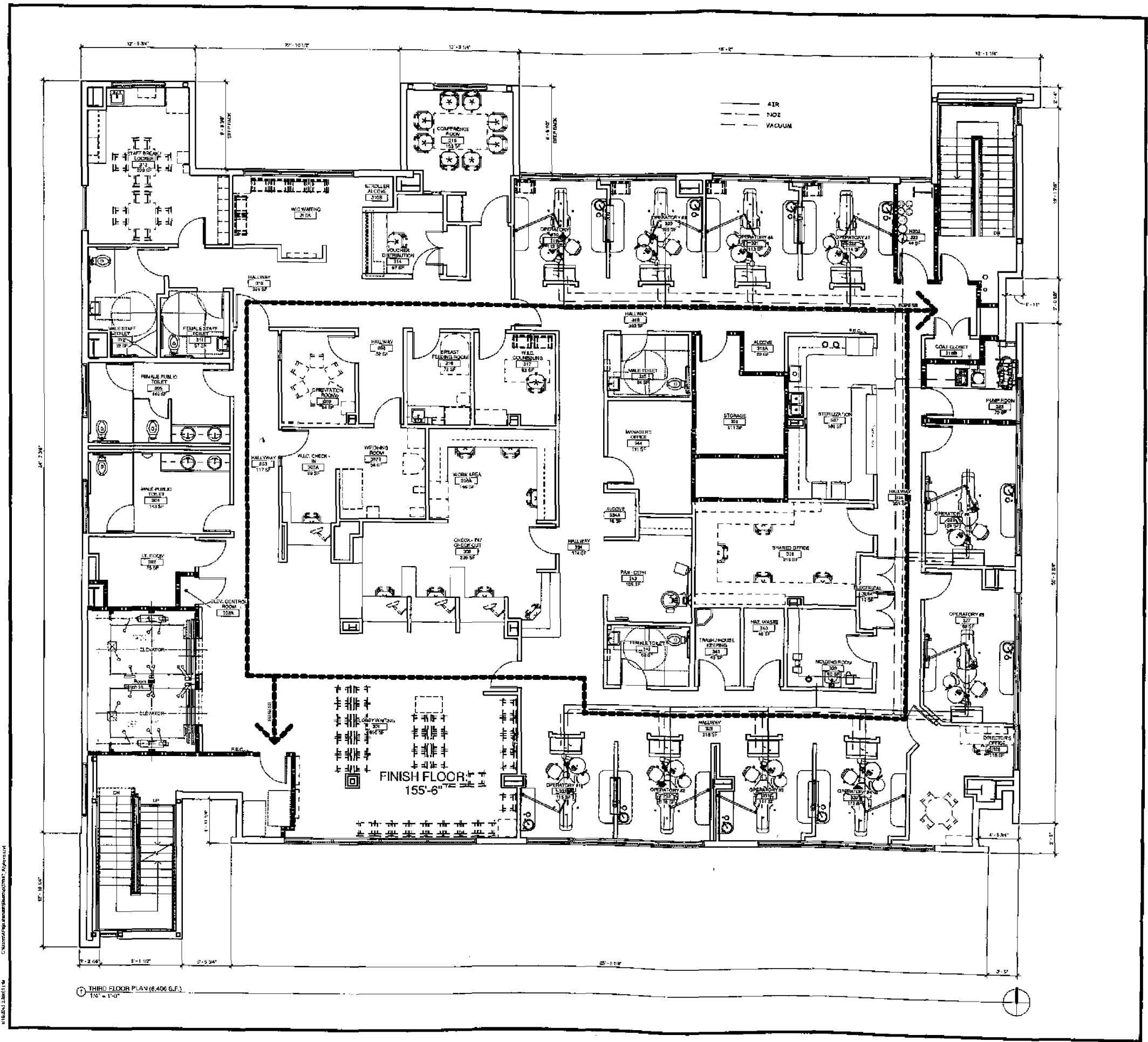
A-4
SHEET 8 OF 11

ATTACHMENT 10



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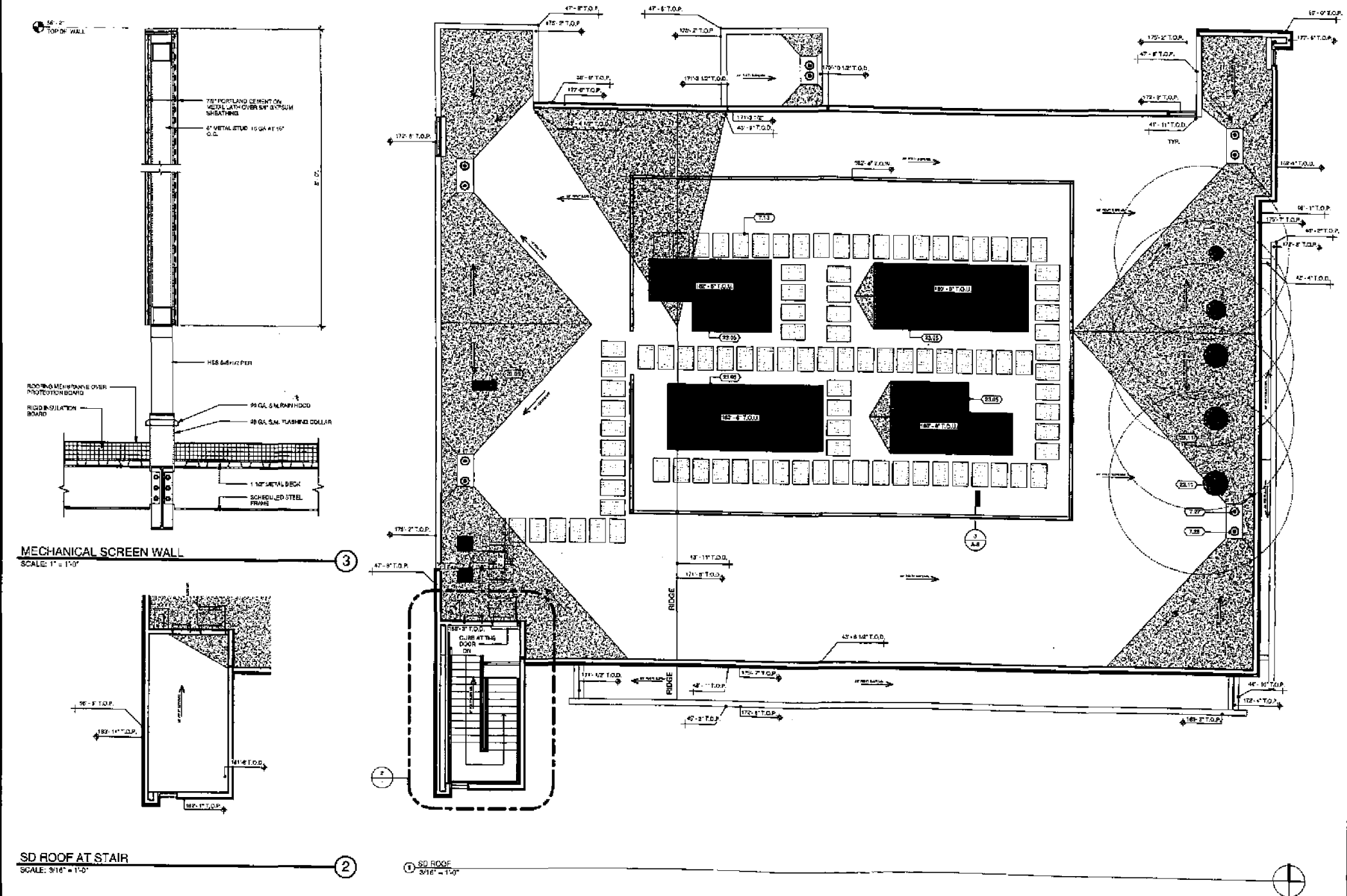


DESIGN REVIEW PLANS	
SHEET INDEX:	
0001	OWNER: SAN YSIDRO HEALTH CENTER
0101	1215 SOUTH STREET
0102	SAN DIEGO, CA 92104
0103	(619) 594-1442
0104	ADDRESS: PARCEL NO. 222-060-0008
0105	952-150-21-00
ARCHITECTURE:	
A01	OWNER SHEET
A02	SITE UTILIZATION PLAN
A03	ACCESSIBILITY AND FIRE ACCESS PLAN
A04	FIRST FLOOR PLAN
A05	SECOND FLOOR PLAN
A06	THIRD FLOOR PLAN
A07	ROOF PLAN
A08	SITE SECTION/MONUMENTAL SIGN
A09	EXTERIOR ELEVATIONS
A10	EXTERIOR ELEVATIONS
A11	OFF-SETTING PLANS (EAST ELEVATION)
LANDSCAPE:	
L01	EXISTING TREE PLAN
L02	LANDSCAPE DEVELOPMENT PLAN
ELECTRICAL:	
E01	SITE PHOTOGRAPHIC PLAN
PROJECT: SAN YSIDRO HEALTH CENTER EUCLID FAMILY HEALTH CENTER	
DRAWING TITLE: THIRD FLOOR PLAN	
NO. REVISION	ISSUE
1	6/21/2010 PRELIMINARY REVIEW
2	9/29/2010 2ND PRELIMINARY REVIEW (EXPIRED)
3	01/20/2011 RE-SUBMITTAL (CAPTURE)
PROJECT NO.: 2009-0043-00	
FIRST OFFICIAL SUBMITTAL DATE: DECEMBER 8, 2010	
DRAWING NO.: A-5	
SHEET 3 OF 10	



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KEYNOTE LIST	
7.12	ROOF FLASHING PROTECTION SHEETS - 02/24/16
7.25	ROOF DRAIN
7.26	ROOF DRAIN LOW DRAIN
8.28	HYDRO UNIT
8.29	REFRESHING COORDINATES - 25/01/00
8.31	SHOULDER FILL - 20/04/18
8.32	ROOF VENT



ROOF AREA TABULATION	
UPPER ROOF AREA:	7,333 SF
SECOND FLOOR ROOF AREA:	641.5 SF
STAIR ROOF AREA:	190 SF
7,333 x 33% = 2,429 SF	
2,429 SF + 190 SF	

1. ALL ROOF COVERINGS SHALL BE LISTED AS CLASS A
2. ALL PVS SINGLE PLY ROOFS SHALL BE SLOPED, PROVIDE TAPERED POLYISO INSULATION BOARD ROOF CHICKENS TO DIVERT WATER AWAY AND EQUIPMENT BASES OVER 4'-0" IN WIDTH SLOPE OF CHICKENS SHALL BE 1/4" P.F.F. MIN.
3. ALL FLASHING SHALL BE MIN 24 GA. GALVANIZED STEEL PAINTED TO MATCH THE ADJACENT SURFACE.
4. INSTALL ALL ROOFING MATERIALS INCLUDING SUBSTRATE MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND DETAILS. ADVISE THE ARCHITECT WHERE CONFLICTS OCCUR.
5. SET ROOF DRAIN AT THE LOW POINT OF THE ROOF AREA. REFER TO ROOF PLAN FOR LOCATION.
6. SLOPE ACHIEVED BY SLOPING STRUCTURAL STEEL. SEE AREAS FOR TAPERED INSULATION. TOP OF PARAPET, TOP OF DECK ELEVATIONS ARE FROM TOP OF FIRST FLOOR SLAB.
7. OVERFLOW DRAIN SHALL BE LOCATED TWO INCHES ABOVE THE LOW POINT OF THE ROOF. CONTRACTIONS OPTION TO PROVIDE A WATERGARD WITH THE TOP SET TWO INCHES ABOVE ADJACENT ROOF SURFACE.
8. NO AREA OF THE ROOF SHALL BE ALLOWED TO FLOOD, DAM OR RETAIN WATER.
9. REFER TO THE ROOF PLAN FOR AREAS WITH OVERFLOW SOLID PERS. OVERFLOW SOLID PERS SHALL BE SET WITH THE PILEY FLOW HEIGHT LOCATED TOP HEIGHT AROUND THE LOW POINT OF THE ROOF SURFACE. THE SIZE OF THE OVERFLOW SOLID PERS SHALL BE THREE TIMES THE SIZE OF THE ROOF MAIN LEADER AND HAVE A MIN. HEAD OF FOUR INCHES.
10. OVERFLOW DRAIN LEADERS SHALL BE CONNECTED TO DRAIN LINES INDEPENDENT OF THE ROOF DRAIN LEADERS AND SHALL DAYLIGHT TO THE BUILDING EXTERIOR AT GRADE.
11. ALL ROOF DRAIN AND OVERFLOW DRAIN SHALL BE TESTED TO VERIFY DESIGN FLOW CAPACITIES AND FLOW TYPING CHARACTERISTICS.
12. ALL ROOF EDGES OF ROOFING MATERIALS ALL CURBS, PARAPETS, EQUIPMENT, ETC. SHALL BE COVERED WITH SHEET METAL FLASHING, RESISTS OR WEATHERPROOF CORNERS, TYPICAL.
13. ALL SHEET METAL COVERED, EXPOSED TO WEATHER, EQUIPMENT PADS, TROUBLE SHOOTING AND/OR EQUIPMENT HOUSING SHALL DRAIN AND SLOPE TO DRAIN TO ADJACENT ROOF SURFACES, TYPICAL.

ROOF MAIN LEADER	REFER TO ROOF MANUFACTURER'S REQUIREMENTS FOR INSTALLATION INFORMATION	TOP	TOP OF DECK
DIRECTION OF ROOF SLOPE		T.O.P.	TOP OF PARAPET
ROOF AND OVERFLOW DRAIN		T.O.W.	TOP OF WALL
AREA OF ROOF USING TAPERED INSULATION TO SLOPE AT 1/4" P.F.F. TO ROOF SKIM		T.O.U.	TOP OF MECHANICAL UNIT

NOTE:
ALL ELEVATIONS ARE BASED ON THE FINISHED FLOOR OF 1ST FLOOR.
SEE GRAPHING LEGEND FOR WALL BUILDING HEIGHT ANALYSIS ON SHEET A-2



DESIGN REVIEW PLANS

SHEET INDEX

C-1	TOPOGRAPHIC BASE MAP
C-2	DETAIL SHEET
C-3	SHADING UTILITY PLAN
C-4	"BUILDUP IMPROVEMENT" PLAN

ARCHITECTURAL

A-0	COVER SHEET
A-1	SITE UTILIZATION PLAN
A-2	ACCESSIBILITY AND FIRE ACCESS PLAN
A-3	FIRST FLOOR PLAN
A-4	SECOND FLOOR PLAN
A-5	THIRD FLOOR PLAN
A-6	ROOF PLAN
A-7	SITE SECTION/ANOMALY PLAN
A-8	SECTION ELEVATIONS
A-9	EXTERIOR ELEVATIONS
A-10	OFF-SETTING PLAN (EAST ELEVATIONS)

LANDSCAPE

L-1	EXISTING TREE PLAN
L-2	LANDSCAPE DEVELOPMENT PLAN

MECHANICAL

M-1	SITE PHOTOGRAPHIC PLAN
-----	------------------------

OWNER:
SAN YSIDRO HEALTH CENTER
(1235 WEST STREET)
SAN DIEGO, CALIF 92114
(619) 584-1100

ASSOCIATE ARCHITECT:
SAN YSIDRO HEALTH CENTER
1235 WEST STREET
SAN DIEGO, CALIF 92114
(619) 584-1100

PREPARED BY:
FAC ARCHITECT, PC
3555 GRANITE AVENUE, SUITE 400
SAN DIEGO, CA 92108
(619) 584-1100

PROJECT ADDRESS:
EUCLID FAMILY HEALTH CENTER
555 AND 1050 SOUTH EUCLID AVENUE
SAN DIEGO, CA 92114

PROJECT
SAN YSIDRO HEALTH CENTER
EUCLID FAMILY HEALTH CENTER

DRAWING TITLE
ROOF PLAN

NO.	REVISION	ISSUE	PROJECT NO.	2009-0443-00
1	1/1/16	ARCHITECTURAL REVIEW	FIRST ORIGINAL SUBMITTAL DATE	DECEMBER 8, 2010
2	8/20/2010	PROFESSIONAL REVIEW (REQUIRED)	DRAWING NO.	A-6
3	11/22/2011	RE-SUBMITTAL (EXEMPTED)		

ATTACHMENT 10

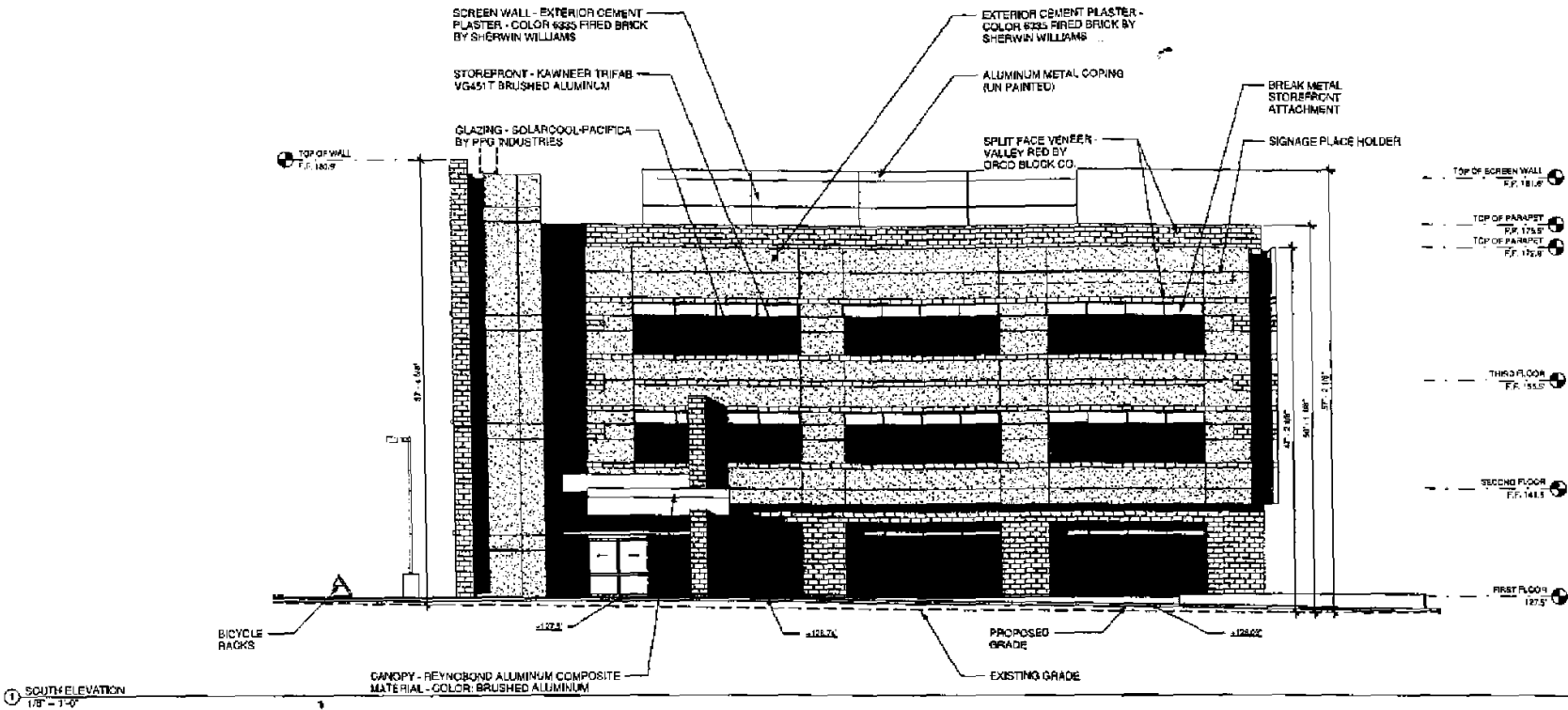
ATTACHMENT 10



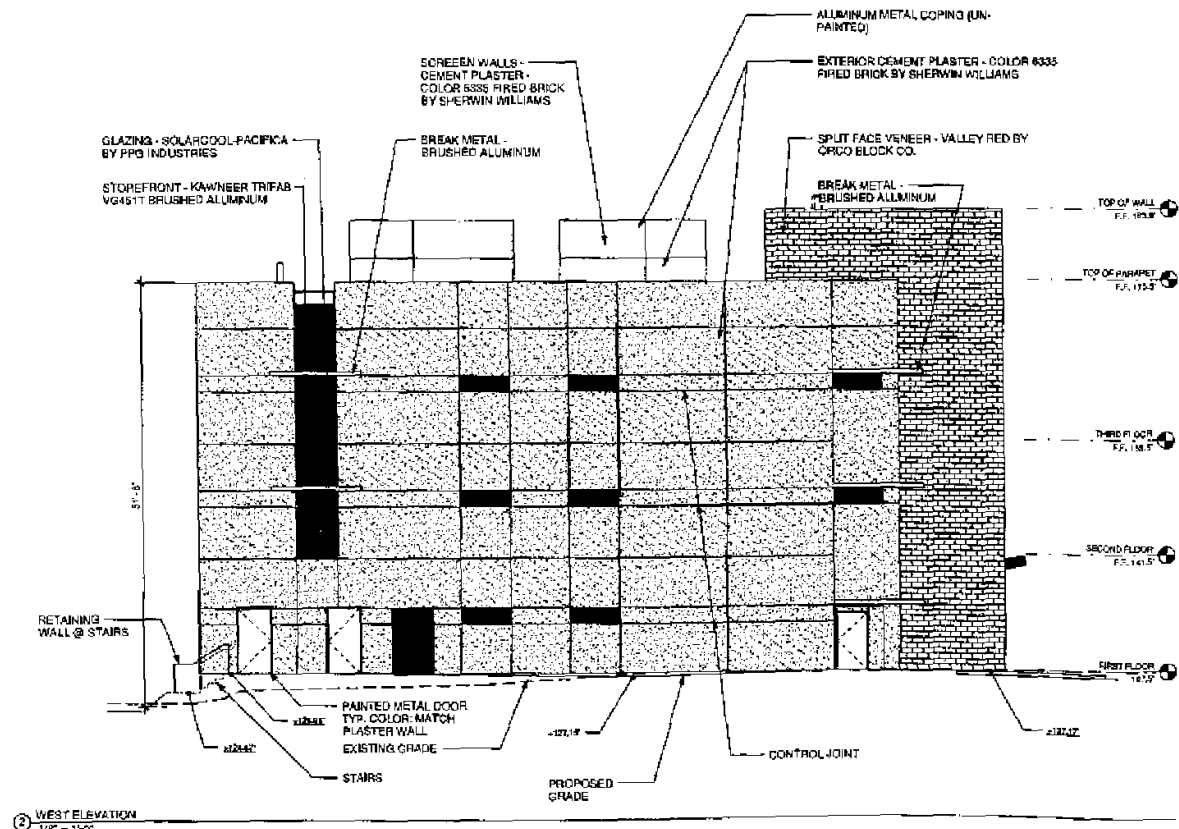
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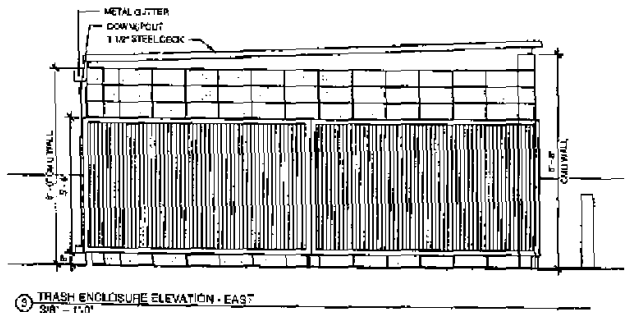
NOTE:
ALL SHOWN SHALL COMPLY WITH CITY DESIGN REGULATIONS IN CODE CHAPTER 14, ARTICLE 2.0, DIMENSION 12.



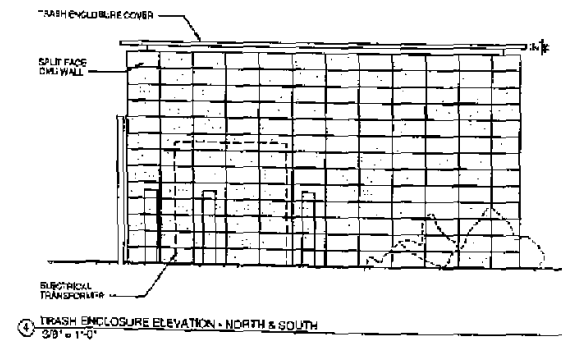
1 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



3 TRASH ENCLOSURE ELEVATION - EAST
3/8" = 1'-0"



4 TRASH ENCLOSURE ELEVATION - NORTH & SOUTH
3/8" = 1'-0"



DESIGN REVIEW PLANS

SHEET INDEX

- D-1 TOPOGRAHY BASE MAP
- D-2 METEOROLOGICAL
- D-3 GRADING UTILITY PLAN
- D-4 PUBLIC IMPROVEMENT PLAN

ARCHITECTURAL

- A-0 COVER SHEET
- A-1 SITE UTILIZATION PLAN
- A-2 ACCESSIBILITY AND FIRE ADDRESS PLAN
- A-3 FIRST FLOOR PLAN
- A-4 SECOND FLOOR PLAN
- A-5 THIRD FLOOR PLAN
- A-6 ROOF PLAN
- A-7 SITE SECTIONS/MACHINICAL ROOM
- A-8 EXTERIOR ELEVATIONS
- A-9 EXTERIOR ELEVATIONS
- A-10 OR SETTING PLANS (EAST ELEVATION)

LANDSCAPE

- L-1 EXISTING TREE PLAN
- L-2 LANDSCAPE DEVELOPMENT PLAN

ELECTRICAL

- E-1 GYM PHOTOGRAPHIC PLAN

OWNER:
SAN YSIDRO HEALTH CENTER
1735 NORTH STREET
SAN DIEGO, CA 92104
(619) 594-4100

ARCHITECT'S PARCEL NO.
024-000-00-00
#00-000000-00

PREPARED BY:
NTD ARCHITECTURE
3865 GRAVEN RIDGE DRIVE, SUITE 400
SAN DIEGO, CA 92133
(619) 584-4449 FAX: (619) 584-4449

PROJECT ADDRESS:
EUCLID FAMILY HEALTH CENTER
500 AND 1000 SOUTH EUCLID AVENUE
SAN DIEGO, CA 92114

PROJECT: SAN YSIDRO HEALTH CENTER
EUCLID FAMILY HEALTH CENTER

DRAWING TITLE:
EXTERIOR ELEVATIONS

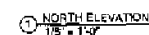
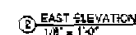
NO.	REVISION	DATE
1	6/11/2010	PRELIMINARY REVIEW
2	5/20/2010	PRELIMINARY REVIEW (SUPPORTS)
3	2/12/2011	RE-SUBMITTAL (EXPIRED)

PROJECT NO. 2005-04453-00
FIRST OFFICIAL SUBMITTAL DATE DECEMBER 8, 2010
DRAWING NO.

A-8

SHEET 12 OF 14

NOTE:
ALL SIGNS SHALL COMPLY WITH CITYWIDE SIGN REGULATIONS IN SOME CHAPTER 14, ARTICLE 2, DIVISION 12.



OWNER:
SAN VITOAL HEALTH CENTER
1415 30TH STREET
SAN DIEGO, CA 92134
(619) 682-4100

ARCHITECT & ARCHT. FIRM:
S&S-OPP-OP-01
602-150-2100

PREPARED BY:
INTO ARCHITECTURE
9636 GIMMITE RIDGE DRIVE, SUITE 40
SAN DIEGO, CA 92123
(619) 565-4440 F.(619) 566-3030

PROJECT ADDRESS:
EUCUD FAMILY HEALTH CENTER
800 AND 1600 SOUTH EUCUD AVENUE
SAN DIEGO, CA 92114

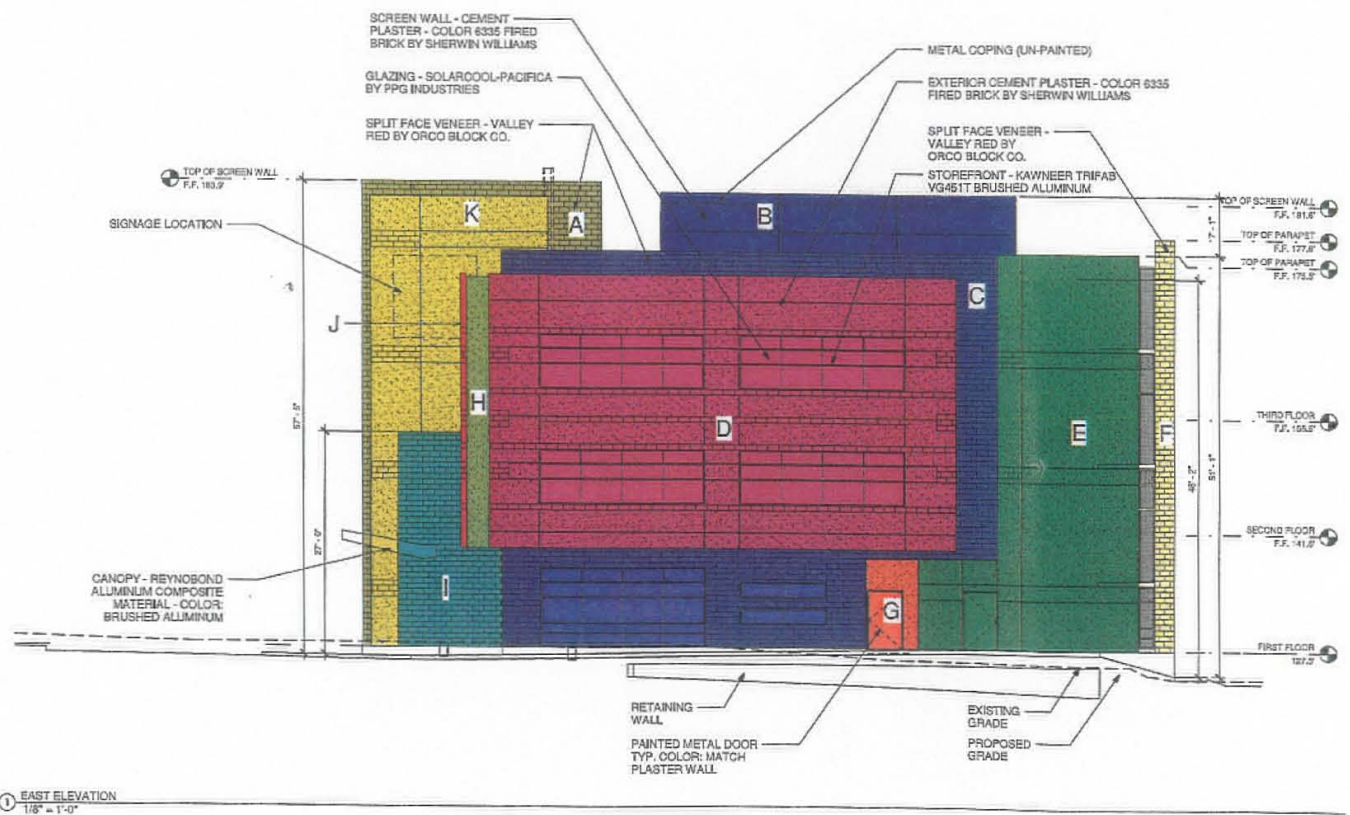
DRAWING TITLE
EXTERIOR ELEVATIONS

NO.	REVISION	ISSUE	PROJECT NO.	2009-0443-00
1	8.11.2010	PRELIMINARY REVIEW	FIRST OFFICIAL SUBMITTAL DATE	DECEMBER 8, 2010
2	9.09.2010	SKY PRELIMINARY REVIEW (REWORKED)	DRAWING NO.	A-9
3	01.02.2011	3RD SUBMITTAL (REWORKED)		

SHEET 18 OF 1



1655 Granite Ridge Drive, Suite 400
San Diego, California 92123
619.594.4145
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1 EAST ELEVATION
1/8" = 1'-0"

EAST ELEVATION OFFSETTING PLANES CALCULATIONS		
	AREA (SQUARE FEET)	PERCENTAGE
A	155.00	3.37%
B	280.00	4.82%
C	1,350.00	25.92%
D	1,965.00	35.86%
E	1,575.00	27.56%
F	117.00	2.77%
G	67.00	2.03%
H	65.00	1.33%
I	280.00	3.98%
J	27.00	0.42%
K	514.00	9.06%
TOTAL PLANE AREA	8,175.00	100%

OFFSETTING PLANE CALCULATIONS



DESIGN REVIEW PLANS

SHEET INDEX:

ARCH:

- D-1 TOPOGRAPHIC BASE MAP
- D-2 DETAIL SHEET
- D-3 GRADING/UTILITY PLAN
- D-4 PUBLIC IMPROVEMENT PLAN

ARCHITECTURAL:

- A-0 COVER SHEET
- A-1 SITE UTILIZATION PLAN
- A-2 ACCESSIBILITY AND FIRE ACCESS PLAN
- A-3 FIRST FLOOR PLAN
- A-4 SECOND FLOOR PLAN
- A-5 THIRD FLOOR PLAN
- A-6 ROOF PLAN
- A-7 SITE SECTION/UNION/VENTILATION SECTION
- A-8 EXTERIOR ELEVATIONS
- A-9 OFF-SHEDDING PLANES (EAST ELEVATION)

LANDSCAPE:

- L-1 EXISTING TREE PLAN
- L-2 LANDSCAPE DEVELOPMENT PLAN

ELECTRICAL:

- E-1 SITE PHOTOGRAPHIC PLAN

OWNER:

SAN YSIDRO HEALTH CENTER
1275 30TH STREET
SAN DIEGO, CA 92104
(619) 594-4100

ARCHITECT'S PARCEL NO.:

SD-049-05-00
802-199-01-00

PREPARED BY:

NTD ARCHITECTURE
2555 GRANITE RIDGE DRIVE, SUITE 400
SAN DIEGO, CA 92123
(619) 594-4145 F: (619) 594-0433

PROJECT ADDRESS:

EUCLID FAMILY HEALTH CENTER
265 AND 1000 SOUTH EUCLID AVENUE
SAN DIEGO, CA 92114

PROJECT

SAN YSIDRO HEALTH CENTER
EUCLID FAMILY HEALTH CENTER

DRAWING TITLE

OFFSETTING PLANES - BUILDING
ARTICULATION

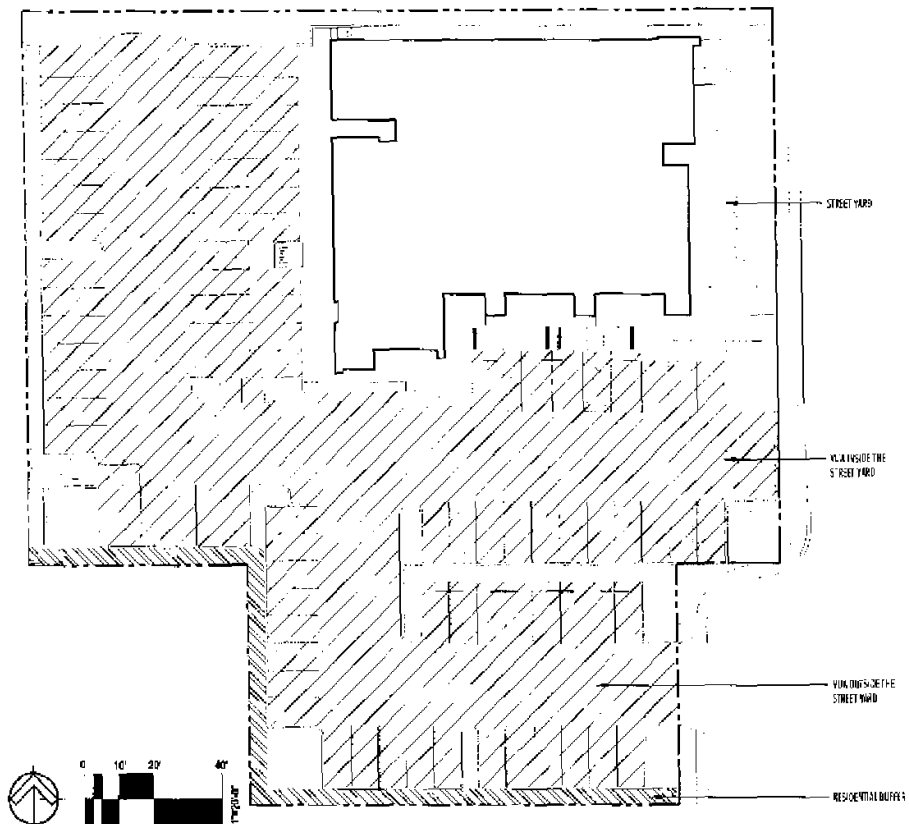
NO.	REVISION	DATE	ISSUE
1	6.11.2010	PRELIMINARY REVIEW	
2	9.03.2010	2ND PRELIMINARY REVIEW (EXPIRED)	
3	01.20.2011	RE-CONSTRUCTION (EXPIRED)	

PROJECT NO.	2009-0449-00
FIRST OFFICIAL SUBMITTAL DATE	DECEMBER 8, 2010
DRAWING NO.	A-10

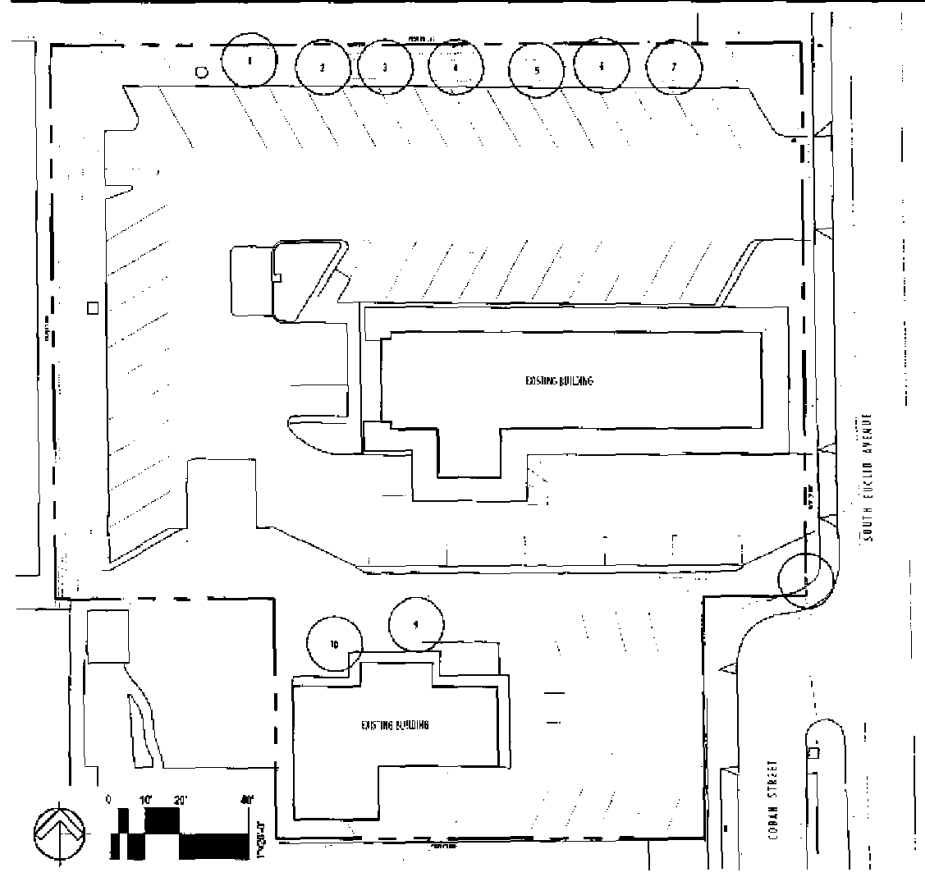


1855 G Street, Suite 400
San Diego, CA 92103
(619) 444-4440
www.ntd.com

LANDSCAPE CALCULATIONS DIAGRAM



EXISTING TREE PLAN



LANDSCAPE CALCULATIONS

City of San Diego
Development Services
1225 First Ave., 4th Fl.
San Diego, CA 92101-1534
(619) 444-6000

Landscape Calculations Worksheet
Industrial Development in RM and C Zones
Commercial Development in All Zones

Provide the following information on the Landscape Plan. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

STREET FRONT

Industrial and Commercial Development (Single Auto Service Stations are below):

Planting Area Required (142.0404)	Planting Area Provided	Excess Area Provided
Total Area: 4,000 sq. ft. x 0.035 = 140 sq. ft.	1,775 sq. ft.	775 sq. ft.

Plant Points Required (142.0404): 200 points

Plant Points Provided: 250 points

Excess Points Provided: 50 points

Auto Service Stations Only

Planting Area Required (142.0404)	Planting Area Provided	Excess Area Provided
Total Area: sq. ft. x 0.035 = sq. ft.	sq. ft.	sq. ft.

Plant Points Required (142.0404): sq. ft. x 0.035 = points

Plant Points Provided: points

Excess Points Provided: points

RETAILING YARD

Planting Area Required (142.0404)	Planting Area Provided	Excess Area Provided
Total Area: sq. ft. x 0.035 = sq. ft.	sq. ft.	sq. ft.

Plant Points Required (142.0404): sq. ft. x 0.035 = points

Plant Points Provided: points

Excess Points Provided: points

ADDITIONAL YARD REQUIREMENTS FOR PROJECTS ADJACENT TO RESIDENTIAL ZONES

Planting Area Required (142.0404)	Planting Area Provided	Excess Area Provided
Total Area: sq. ft. x 0.035 = sq. ft.	sq. ft.	sq. ft.

Plant Points Required (142.0404): sq. ft. x 0.035 = points

Plant Points Provided: points

Excess Points Provided: points

City of San Diego - Development Services Division - Industrial Development in RM and C Zones
Commercial Development in All Zones

City of San Diego
Development Services
1225 First Ave., 4th Fl.
San Diego, CA 92101-1534
(619) 444-6000

Landscape Calculations Worksheet
Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plan. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

City trees (minimum 24 inch dbh size) are required unless 30 ft. of shade parking space (if palm trees are used, one palm (minimum 8 ft. trunk height) is required every 15 ft. of shade parking space).

VEHICULAR USE AREA (VUA) (4.000 sq. ft. x 0.035 = 140 sq. ft.)

Planting Area Required: 140 sq. ft. x 0.035 = 4.9 sq. ft.	Plant Points Provided	Excess Points Provided
Total VUA: sq. ft. x 0.035 = points	points	points

Points below 4' through trees (at least 10 ft.): points

VEHICULAR USE AREA (VUA) WITH TREES (4.000 sq. ft. x 0.035 = 140 sq. ft.)

Required Planting Area	Planting Area Provided	Excess Area Provided
VUA (VUA) (4.000 sq. ft. x 0.035 = 4.9 sq. ft.)	sq. ft.	sq. ft.
VUA (VUA) (4.000 sq. ft. x 0.035 = 4.9 sq. ft.)	sq. ft.	sq. ft.

Points below 4' through trees (at least 10 ft.): points

VEHICULAR USE AREA (VUA) WITH TREES (4.000 sq. ft. x 0.035 = 140 sq. ft.)

Required Planting Area	Planting Area Provided	Excess Area Provided
VUA (VUA) (4.000 sq. ft. x 0.035 = 4.9 sq. ft.)	sq. ft.	sq. ft.
VUA (VUA) (4.000 sq. ft. x 0.035 = 4.9 sq. ft.)	sq. ft.	sq. ft.

Points below 4' through trees (at least 10 ft.): points

TEMPORARY VEHICULAR USE AREA (VUA) (4.000 sq. ft. x 0.035 = 140 sq. ft.)

Required Planting Area	Planting Area Provided	Excess Area Provided
VUA (VUA) (4.000 sq. ft. x 0.035 = 4.9 sq. ft.)	sq. ft.	sq. ft.
VUA (VUA) (4.000 sq. ft. x 0.035 = 4.9 sq. ft.)	sq. ft.	sq. ft.

Points below 4' through trees (at least 10 ft.): points

ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS

City of San Diego - Development Services Division - Industrial Development in RM and C Zones
Commercial Development in All Zones

Retaining Yard
TOTAL VUA PLANTING AREA: 138 sq. ft.
STREET TREES REQUIRED: 4
STREET TREES PROVIDED: 4

EXISTING TREE LEGEND

Number	Type	Caliper	Height	Width	Fate
1	CALLISTEMON VIMINALIS (BOTTLEBRUSH)	10"	12'	10'	REMOVE
2	CALLISTEMON VIMINALIS (BOTTLEBRUSH)	14"	15'	10'	REMOVE
3	CALLISTEMON VIMINALIS (BOTTLEBRUSH)	12"	15'	10'	REMOVE
4	CALLISTEMON VIMINALIS (BOTTLEBRUSH)	9"	12'	10'	REMOVE
5	CALLISTEMON VIMINALIS (BOTTLEBRUSH)	14"	15'	10'	REMOVE
6	CALLISTEMON VIMINALIS (BOTTLEBRUSH)	9"	15'	10'	REMOVE
7	CALLISTEMON VIMINALIS (BOTTLEBRUSH)	10"	15'	10'	REMOVE
8	WASHINGTONIA ROBUSTA (AMERICAN FAN PALM)	10"	22'	10'	REMOVE
9	WASHINGTONIA ROBUSTA (AMERICAN FAN PALM)	10"	15'	10'	REMOVE
10	ROSELAVEDIA SPINOSA (CHINESE FAME TREE)	8"	15'	12'	REMOVE



NOWELL & ASSOCIATES
LANDSCAPE ARCHITECTURE
2405 STATE STREET, SAN DIEGO, CA 92108
TEL: 619.255.1990 FAX: 619.255.1997

DESIGN REVIEW PLANS

SHEET INDEX

C-1	TOPOGRAPHIC BASE MAP
C-2	DETAIL SHEET
C-3	GRADING/UTILITY PLAN
C-4	PUBLIC IMPROVEMENT PLAN

ARCHITECTURAL

A-1	COVER SHEET
A-2	SITE UTILIZATION PLAN
A-3	ACCESSIBILITY AND FIRE ACCESS PLAN
A-4	FIRST FLOOR PLAN
A-5	SECOND FLOOR PLAN
A-6	THIRD FLOOR PLAN
A-7	ROOF PLAN
A-8	SITE ELECTIONS MONUMENTAL, SIGN
A-9	EXTERIOR ELEVATIONS
A-10	OFF-SETTING PLANS (EAST ELEVATION)

LANDSCAPE

L-1	EXISTING TREE PLAN
L-2	LANDSCAPE DEVELOPMENT PLAN

ELECTRICAL

E-1	INTERPHONE TIES PLAN
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PROJECT

SAN YSIDRO HEALTH CENTER
EUCLID FAMILY HEALTH CENTER

DRAWING TITLE

EXISTING TREE PLAN & LANDSCAPE CALCULATIONS

NO.	REVISION	ISSUE	PROJECT NO.	2008-0443-03
1	6.11.2010	PRELIMINARY REVIEW	FIRST SUBMITTAL DATE	DECEMBER 6, 2010
2	8.02.2010	2ND PRELIMINARY REVIEW (EXPERIENCE)	DRAWING NO.	L-1
3	1.22.2011	REVISIONS (REVISED)		

SHEET 14 OF 18

NTD

ARCHITECTURE

8665 Gregg Ridge Drive, Suite 400
San Diego, California 92123
(619) 595-1140
www.ntd.com

PLANTING LEGEND

Street Tree in Public Right of Way:
NATIVE SIZE: 20-40' TALL X 2-3" DBH. ROUND
(CITY: 4" DBH. ROUND, SUCH AS:
ACACIA GUMMATA (GUMMATA GUMMATA)
FICUS BENTHAMIANA (FICUS BENTHAMIANA)
SAPINDUS MUKORO (MUKORO TREE)

Broad Headed Canopy Shade Tree:
NATIVE SIZE: 20-40' TALL X 2-3" DBH. ROUND
(CITY: 4" DBH. ROUND, SUCH AS:
ACACIA GUMMATA (GUMMATA GUMMATA)
FICUS BENTHAMIANA (FICUS BENTHAMIANA)
SAPINDUS MUKORO (MUKORO TREE)

Small Flowering Accent Tree:
NATIVE SIZE: 15-20' TALL X 1-2" DBH. ROUND
(CITY: 3" DBH. ROUND, SUCH AS:
ACACIA GUMMATA (GUMMATA GUMMATA)
FICUS BENTHAMIANA (FICUS BENTHAMIANA)
SAPINDUS MUKORO (MUKORO TREE)

Large Evergreen Screening Shrub:
NATIVE SIZE: 6-10' TALL X 2-3" DBH. ROUND
(CITY: 3" DBH. ROUND, SUCH AS:
ACACIA GUMMATA (GUMMATA GUMMATA)
FICUS BENTHAMIANA (FICUS BENTHAMIANA)
SAPINDUS MUKORO (MUKORO TREE)

Evergreen Screening Hedge:
NATIVE SIZE: 6-10' TALL X 2-3" DBH. ROUND
(CITY: 3" DBH. ROUND, SUCH AS:
ACACIA GUMMATA (GUMMATA GUMMATA)
FICUS BENTHAMIANA (FICUS BENTHAMIANA)
SAPINDUS MUKORO (MUKORO TREE)

Medium Height Evergreen Shrub:
NATIVE SIZE: 4-6' TALL X 1-2" DBH. ROUND
(CITY: 2" DBH. ROUND, SUCH AS:
ACACIA GUMMATA (GUMMATA GUMMATA)
FICUS BENTHAMIANA (FICUS BENTHAMIANA)
SAPINDUS MUKORO (MUKORO TREE)

Foreground Evergreen Groundcover & Grasses:
NATIVE SIZE: 1-3' TALL X 1-2" DBH. ROUND
(CITY: 1" DBH. ROUND, SUCH AS:
ACACIA GUMMATA (GUMMATA GUMMATA)
FICUS BENTHAMIANA (FICUS BENTHAMIANA)
SAPINDUS MUKORO (MUKORO TREE)

Evergreen Groundcover on Slopes:
NATIVE SIZE: 1-3' TALL X 1-2" DBH. ROUND
(CITY: 1" DBH. ROUND, SUCH AS:
ACACIA GUMMATA (GUMMATA GUMMATA)
FICUS BENTHAMIANA (FICUS BENTHAMIANA)
SAPINDUS MUKORO (MUKORO TREE)

Grasses and Grasslike Plants in Stormwater Detention Area:
NATIVE SIZE: 1-3' TALL X 1-2" DBH. ROUND
(CITY: 1" DBH. ROUND, SUCH AS:
ACACIA GUMMATA (GUMMATA GUMMATA)
FICUS BENTHAMIANA (FICUS BENTHAMIANA)
SAPINDUS MUKORO (MUKORO TREE)

Accent Plants with Unique Form:
NATIVE SIZE: 1-3' TALL X 1-2" DBH. ROUND
(CITY: 1" DBH. ROUND, SUCH AS:
ACACIA GUMMATA (GUMMATA GUMMATA)
FICUS BENTHAMIANA (FICUS BENTHAMIANA)
SAPINDUS MUKORO (MUKORO TREE)

HYDROZONE LEGEND*

1 HYDROZONE 1 (WATER) 2.00 SQ FT 100%

2 HYDROZONE 2 (WATER) 2.00 SQ FT 100%

3 HYDROZONE 3 (WATER) 2.00 SQ FT 100%

4 HYDROZONE 4 (WATER) 2.00 SQ FT 100%

5 HYDROZONE 5 (WATER) 2.00 SQ FT 100%

TOTAL: 2,000 SQ FT 100%

* FOR WATER BUCKET AND ESTIMATED TOTAL WATER USE CALCULATIONS, SEE ABOVE WORK, IN ADJACENT TITLE BLOCK PANEL.



LANDSCAPE NOTES

1. MINIMUM TREE SPACING DISTANCE: 20 FEET
2. ALL TREES SHALL BE PROVIDED WITH 40 SQUARE FEET ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM IMPERMEABLE (PAVING) OF THIS AREA SHALL BE 5 FEET.

3. ALL TREES SHALL BE PROVIDED WITH 40 SQUARE FEET ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM IMPERMEABLE (PAVING) OF THIS AREA SHALL BE 5 FEET.

4. ALL LANDSCAPE AND IRRIGATION SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO'S LANDSCAPE STANDARDS, AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

5. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF WEEDS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.

6. TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER A PERISTYLE WALKWAY ARE 6 FEET ABOVE THE WALKWAY GRADE AND SO ALL BRANCHES OVER A PERISTYLE TRAVEL WALKWAY ARE 14 FEET ABOVE THE GRADE OF THE WALKWAY.

7. ALL BRANCHES OVER A PERISTYLE TRAVEL WALKWAY SHALL NOT BE PERMANENTLY PASSED OR COVERED BY STRUCTURES SHALL BE VENTILATED AND IRRIGATED.

8. ALL BRANCHES OVER A PERISTYLE TRAVEL WALKWAY SHALL NOT BE PERMANENTLY PASSED OR COVERED BY STRUCTURES SHALL BE VENTILATED AND IRRIGATED.

9. ALL BRANCHES OVER A PERISTYLE TRAVEL WALKWAY SHALL NOT BE PERMANENTLY PASSED OR COVERED BY STRUCTURES SHALL BE VENTILATED AND IRRIGATED.



1655 Camino del Rio East, Suite 400
San Diego, California 92108
619.594.4444
www.ntd.com

San Diego Los Angeles Austin Vista Phoenix Tucson

FLAG NOTES

▶ FUTURE SHALL HAVE EXTERNAL HOUSE SIDE SIGN, 15" TALL

SPARLING ILLAZAMIT

9321 Towne Centre Drive, Suite 200
San Diego, California 92122
619.622.2700 619.667.9610
www.sparling.com



DESIGN REVIEW PLANS

SHEET INDEX

- CNL
- C-1 TOPOGRAPHIC BASE MAP
- C-2 DETAIL SHEET
- C-3 GRADE/UTILITY PLAN
- C-4 FUTURE IMPROVEMENT PLAN

ARCHITECTURE

- A-1 COVER SHEET
- A-2 SITE UTILIZATION PLAN
- A-3 ACCESSIBILITY AND FIRE ACCESS PLAN
- A-4 FIRST FLOOR PLAN
- A-5 SECOND FLOOR PLAN
- A-6 THIRD FLOOR PLAN
- A-7 ROOF PLAN
- A-8 SITE SECTIONS/ENVIRONMENTAL PLAN
- A-9 EXTERIOR ELEVATIONS
- A-10 EXTERIOR ELEVATIONS
- A-11 OFF SETTING PLANS (EAST ELEVATION)

OWNER:
SAN YSIDRO HEALTH CENTER
1775 30TH STREET
SAN DIEGO, CA 92104
(619) 594-4700

ADDRESS: PARCEL NO. 22
222-056-05-05
957.456.21-05

PREPARED BY:
NTD ARCHITECTURE
1655 CAMINO DEL RIO EAST, SUITE 400
SAN DIEGO, CA 92108
(619) 594-4444

PROJECT ADDRESS:
EUCLID FAMILY HEALTH CENTER
3000 AND 1000 SOUTH BROAD AVENUE
SAN DIEGO, CA 92104

LANDSCAPE

- L-1 EXISTING TREE PLAN
- L-2 LANDSCAPE DEVELOPMENT PLAN

ELECTRICAL

- E-1 SITE PHOTO METRIC PLAN

PROJECT: SAN YSIDRO HEALTH CENTER

EUCLID FAMILY HEALTH CENTER

DRAWING TITLE: SITE PHOTO METRIC PLAN

NO.	REVISION	DATE	BY	PROJECT NO.	2008-0443-00
1	6.11.2010	PRELIMINARY REVIEW		FIRST SUBMITTAL DATE	DECEMBER 8, 2010
2	6.10.2010	2ND PRELIMINARY REVIEW (EXCEPT)		DRAWING NO.	
3	1.20.2011	RESUBMITTAL (REVISED)			

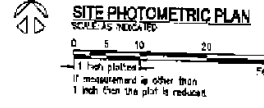
E-1

SAN YSIDRO MEDICAL CLINIC
LIGHTING CALCULATIONS: Site Lighting

Date: 1/17/2011
Site Lighting Rev 1 Recommendation 20.05.07 AGF
Calculation by: JMS

Symbol	Qty	Label	Arrangement	Total Lamp Lumens (LP)	Description
1	15	F2 Wallpack	SINGLE	3100	2400lm Baya-1000
2	3	4x Floodlights	3x3x3	1075	2400lm 7' GENR 62CM
3	2	2'x4' LED pole light	SINGLE	2550	2400lm 7' GENR 62CM
4	1	2'x4' LED pole	SINGLE	14350	2400lm 7' GENR 62CM
5	1	2'x4' LED pole with 2x5	SINGLE	14350	2400lm 7' GENR 62CM

Label	Calc Type	Units	Temp	Max	Min	Surround	Surround
Ground	Fluorescence	FC	2.75	8.0	0.0	0.27	26.87
Ground Top 1	Fluorescence	FC	0.94	6.0	0.0	0.14	14.14
Path of Travel	Fluorescence	FC	2.75	8.0	0.0	0.27	26.87



Peterson, Jeff

From: Kathy Griffee [bratkd@cox.net]
Sent: Monday, February 07, 2011 10:36 PM
To: Peterson, Jeff
Cc: hreyes@reyesarchitects.com; Bucey, Karen; Williams, Bruce
Subject: Re: Euclid Family Health Center-Project No. 219009 (Group's Recommendation)

Importance: High

Dear Mr. Peterson

The ENCPG reviewed the Euclid Family Health Center Project No. 219009 this evening. The group approved the project as presented: a three story 26,000 sq ft building for outpatient medical/dental services on a 1.01 acre site @ 950 S. Euclid; with a parking variance providing 86 parking spaces (instead of the required 100). V: 7-1-0 to approve. Group recommendations:

- *Increase outreach to other medical/dental providers in the area informing them of the coming medical services and work together to provide services to the community versus compete against each other.

- *Traffic concerns mentioned focused on other agenda item: Proposal TR 317,656: One way conversion on S. Euclid Ave west frontage road between S. Euclid Ave and Solola Ave (potential conflict) as residents petitioned Council Office District 4 to convert fontage to one way (south)., Bruce Williams (Tony Young representative) agreed to assist neighbors and project leads to discuss issue with each other and come to an agreement: Euclid Health Center was presented with the frontage road as a two way street. TR 317,656 was continued as a result.

Please let me know if you need additonal comment concerning the discussion this evening; I believe I captured the highlights. Minutes from this evening's meeting will be reviewed and approved March 21, 2011.

Sincerely
Kathy Griffee
Chair, Encanto Neighborhoods Community Planning Group

Ownership Disclosure Statement-Supplement

Euclid Family Health Center – Project No. 219009

Management Team:

Ed Martinez	President & CEO
Kevin Mattson	Senior Vice President Administration/Finance
Terry Whitaker	Vice President of Operations
Greg Talavera, M.D.	Vice President of Clinical Affairs
Matthew Weeks, M.D.	Chief Medical Officer

Board of Directors:

Macario Gutierrez	Chairman
Victor Nieto	Co-Chair
Raul Eribez	Co-Chair
Laura Andrews	
Mercedes Bernal	
Roy Cazares	
Ruth Covell, M.D.	
Gilbert Fimbres	
Margarita Navarro	
Michael Owens, M.D.	
Magdalena Peraza	
Reynaldo Perez	
Gloria Ramirez	
Yolanda Santana	
Tomas Urtasun	

DEVELOPMENT SERVICES DEPARTMENT
PROJECT CHRONOLOGY
EUCLID FAMILY HEALTH CENTER - PROJECT NO. 219009

Date	Action	Description	City Review Time (Working Days)	Applicant Response
12/8/2010	First Submittal	Project Deemed Complete	-	-
1/7/2011	First Assessment Letter		16 days	
1/20/2011	Second Submittal			8 days
1/25/2011	Draft ND	Draft Negative Declaration distributed for public review	-	-
2/1/2011	Second Review	Review completed; however, the project has not received a community group recommendation	8 days	
2/8/2011	Issued Resolved	All review issues resolved and the community group has provided a recommendation	-	5 days
2/22/2011	Final ND	Final Negative Declaration	-	-
3/10/2011	Public Hearing	First available date	21 days	
TOTAL STAFF TIME		(Does not include City Holidays or Furlough)	45 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or Furlough)		13 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Hearing	58 working days (92 calendar days)	